

INSPECTION REPORT Sample Inspection Report Wellington FL 33414

INSPECTED BY Jessica Dumais Florida Wisdom Home Inspections LLC HI14781 INSPECTION DATE 11/20/2022 09:00 AM

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Property Address	Date of Inspection	Report ID
Sample Inspection Report	11/20/2022	11202022primrose
Wellington FL 33414		
Customer(s)	Time of Inspection	Real Estate Agent
Sample Inspection Report	09:00 AM	
Inspection Details		
•	Type of building:	Approximate age of building:
In Attendance:	Type of building:	Approximate age of building:
•	Type of building: Single Family (1 story)	Approximate age of building: 20 - 30 Years
In Attendance:		

Comment Key & Definitions

Comment key and definition

The home inspection report is intended to provide the client with information regarding the overall condition of permanently installed systems and components of the home based on observation of the visible and apparent condition of the structure and components at the date and time of inspection and to report on those systems and components inspected that, in the opinion of the inspector, are significantly deficient or at the end of their service life. A home inspection is not technically exhaustive, does not include the prediction of future conditions nor does it provide any guarantee or warranty. The inspector shall inspect readily accessible, installed systems and components listed in the Florida Standards of Practice by using normal operating controls. Where multiple instances of the same component exist, a representative number shall be inspected.

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair, replace, or needs follow up requires a further evaluation by a licensed contractor in the appropriate field PRIOR to closing. All costs associated with further inspection fees, repairs, or replacement of items/units should be considered before you purchase the property. Repair cost estimates will not be provided within this report and must be obtained by a professional in the appropriate field prior to closing.

Functional (F) = The inspector visually observed these items, components or units and if no other comments were made, then they appeared to be functioning as intended at the time of the inspection (allowing for normal wear and tear). Some items such as structural floors and concealed framing members are not always visible. Any item not visible, yet reported on, has been evaluated based on a series of observations and overall condition of the house based on the opinion of the inspector.

<u>Repair or Replace (RR)</u> = These items, and/or the entire systems are significantly deficient and require repair and/or further evaluation by a qualified / licensed professional in the appropriate field. Items, components or systems that can be repaired to satisfactory condition may not need replacement.

Needs Follow Up (NF) = Items reported within this category must have the entire system further evaluated by a licensed professional in the appropriate field prior to closing. In the event the components or systems are not accessible during our inspection, the item(s) marked as "needs follow up" must be re-inspected by the buyer or any other professional after the sellers personal possessions have been removed.

Marginal (M) = These items are at the end of their expected service life, in poor shape and will require repair or replacement

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in the near future. Budget planning is needed.

<u>Maintenance (MT)</u> = These items require upkeep from time to time to maintain integrity and functionality.

Suggest Upgrade (SU) = A better/safer method is available then what is currently present.

Not Inspected (NI) = The inspector did not inspect these items, components or units and made no representations of whether or not they were functioning as intended. Items not readily accessible or shut down will NOT be inspected. The inspector will NOT do anything which may, in the inspector's opinion, be unsafe, unsanitary, or dangerous to the inspector or others, or damage property, such as, but not limited to: walking on steep roof surfaces, walking on clay, slate, asbestos cement tile, or membrane roofs, climbing ladders during bad weather, entering crawlspace with clearance of less than 24 inches from the soil to bottom of floor joist, and/or negotiating with pets or other animals.

Not Present (NP) = These items, components or units are not present at the time of the inspection.

This inspection report has been prepared based upon InterNACHI and Florida DBPR Standards of Practice. By accepting this report, the client agrees to be bound by the terms and exclusions of the inspection contract and agree to the Standards of Practice.

Click the links bellow to access to those terms and conditions:

https://www.flrules.org/gateway/ChapterHome.asp?Chapter=61-30

https://www.nachi.org/sop.htm

Click the link bellow to access InterNACHI life expectancy chart:

https://www.nachi.org/life-expectancy.htm

This report is limited to the components and systems which were accessible and visible to the inspector at the time of the inspection. Florida Wisdom Home Inspections LLC, cannot be responsible for any hidden or concealed defects or problems that occur between the time of the inspection and when the client takes occupancy. Only the items listed in the report were inspected.

BY ACCEPTING THIS REPORT, THE CLIENT AGREES TO THOSE THERMS AND AGREES TO:

1. Obtain the seller disclosure prior to closing.

2. If we report that an item is in need of immediate repair, is not performing as intended, need follow up, or has not been inspected, and the client intends to purchase the property anyway, the client must have that item, as well as the entire system, examined by a licensed professional prior to closing.

3. Obtain all warranties, repair receipts and permit applications from the seller to make sure all repairs are code compliant.

4. Re-inspect at the final walk through for proper appliance operations, once again, and for any other damages concealed by stored items or furnitures. Appliance breakdown post inspection happens, and is not the inspector's responsibility.

5. Hire a certified chimney sweep specialist for a fireplace, chimney, and/or fuel burning appliance level 2 sweep inspection prior to closing. The Inspector does not provide that service.

6. Not allow anyone else to use or rely on this report. A copy of this report and/or summary page may be provided to your real estate agent or attorney.

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7. Notify us in writing of any complaints regarding our inspection within seven (7) days after receipt of our report.

8. Read thoroughly the entire report. This includes; the general report information with comment key and definition, the report attachment forms (if present), all component sections, and summaries.

9. Agree that the liability of the inspector shall be limited to liquidated damages in an amount equal to the fee paid to the inspector, and this liability shall be exclusive.

Inspection Report

1. Structural Components



The inspector shall inspect: The basement, the foundation, the crawlspace and the VISIBLE structural components, systems, and framing. Any present conditions or clear indications of active water penetration. Any indications of wood in contact with or near soil. And any indications of foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames and unlevel floors. Any cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern. The inspector shall inspect by probing structural components where deterioration is visible or suspected. Probing is not required when, in the opinion of the inspector, probing would only further damage any area already identified as defective or where no deterioration is visible or presumed to exist.

The inspector is NOT REQUIRED TO: Enter any crawlspaces or attic space that are not readily accessible (or inadequate clearance exists) or where entry could cause damage to components or pose a hazard to the inspector. Move stored items or debris. Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems. Provide any engineering or architectural service. Report on the adequacy of any structural system or component.

Styles & Materials

Floor Structure: Not visible

Slab Roof Structure:

Engineered wood trusses 8D nails Missed Nails Single wrap straps

Method used to observe Crawlspace:

No crawlspace

Items

1.0 Foundations / Crawlspace

Comments: Functional

Poured concrete foundation are often found to have cracks. Typically, these cracks are shrinkage cracks and do not indicate major structural problems. The only problem with shrinkage cracks in a poured concrete foundation wall, other than cosmetic appearance, is water penetration. Elastomeric crack filler should be used to correct this issue.

1.2 Floors Structure

Comments: Functional

The concrete floor is hidden from view by floor covering. Every concrete slab has small shrinkage and stress cracks from construction. These small cracks are typical for poured in place concrete and are not structural problems. If the cracks widen over time, consult with a professional.

1.3 Walls Structure

Comments: Functional

The structural wall framing members are hidden inside the wall behind interior and exterior finishes and are NOT inspected. Further destructive evaluation is recommended if concerned.

1.4 Ceilings Structure

Comments: Functional

The structural ceiling framing members are hidden by attic insulation and therefore are NOT inspected. Further evaluation is recommended if concerned.

1.5 Roof Structure

Comments: Functional

1.6 Roof Sheathing

Comments: Repair or Replace

Wall Structure: Masonry Block Inside not visible Roof Type: Combination Hip and Gable Ceiling Structure: 2X4 Not visible Foundation: Monolithic Concrete Slab

Inspection Report

(1) The roof sheathing is deteriorated and soft at multiple areas. The leaks are currently active. Due to the roof age, it is not cost effective to perform repairs. The roof must be replaced. Until then, a plastic sheeting cover must be installed by a roofing company to avoid any further leak damages. Replacement cost estimate by a licensed roofing contractor is required prior to closing.



1.6 Item 1 (Video)



1.6 Item 3 (Picture)



1.6 Item 2 (Picture)



1.6 Item 4 (Picture)



1.6 Item 5 (Picture)



1.6 Item 6 (Picture)



1.6 Item 7 (Picture)

1.6 Item 8 (Picture)

(2) 4 or more missed nails were found. The roof deck must be re-nail per Florida Building Code guideline. Larger number of missed nails reduces the strength of the roof deck significantly and will be prone to uplift during strong wind. This must be corrected when the roof is replaced.



1.6 Item 9 (Picture)

The structure of the home was inspected and reported based on the information above. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspector cannot see through floors, covering materials, ceilings, walls, and tangible materials. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified licensed contractors in the appropriate field be hired for any repairs needed.

Structural condition of the roof framing was inspected for signs of deterioration, failures or signs of structural damage using a series of observations to determine an opinion of the structure. Areas covered by floors, walls, or exterior sidling finishes were not visible and cannot be inspected without destructive investigation. Damage may exist under the finishes that is not visible at the time of inspection.

2. Exterior Components



The inspector shall inspect from ground level: The exterior wall-covering materials (claddings/sidings), flashing and trim. The eaves, soffits and fascias. A representative number of windows. All exterior doors. Attached decks, porches, balconies, stoops, steps, stairs, stairways, guards, ramps, railings, balusters, and handrails. Walkways, patios, carports, and driveways leading to the dwelling entrances. All of the visible and readily accessible exterior systems and components. The vegetation, surface drainage, grading, and retaining walls when these are likely to adversely affect the structure.

The inspector is NOT REQUIRED TO: Inspect or operate window and door screens, screen enclosures, storm windows, shutters, awnings, safety-type glass, and similar seasonal or protective accessories and devices. Determine the integrity of multi-pane window glazing or the thermal window seals. Inspect fences, outbuildings, recreational facilities, playground equipments, or exterior accent lighting. Inspect items, including window and door flashings, which are not visible or readily accessible from the ground. Inspect geological, geotechnical, hydrological and/or soil conditions. Inspect swimming pools, spas, water falls, fountains, ponds, seawalls, break-walls, boat lifts and/or docks. Inspect erosion control and earth stabilization measures. Inspect underground utilities or items. Inspect wells or springs, solar systems, wind or geothermal systems, geological/geotechnical/hydrological site conditions, wastewater treatment systems, septic or cesspools systems, irrigation or sprinkler or rust inhibiting systems, and/or drain fields or dry wells.

Styles & Materials

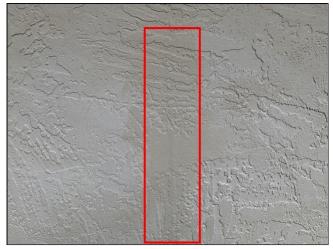
Siding/Cladding Types:	Siding Style:	Soffit / Fascia:
Stucco	Cement stucco	Wood
		Stucco
Gutters:	Exterior Entry Doors:	Window Types:
Yes	Fiberglass	Single-hung
	Sliding glass doors	Not Impact Rated
Opening Protection:	Driveway:	Others:
Yes	Concrete	Screened Patio
Accordion Shutters		Enclosed Porch
Metal Panel Shutters		
Items		

items

2.0 Wall Siding and Trim

Comments: Repair or Replace

Stucco finishes have small cracks due to small building movement/settlement. Hairline cracks are not generally considered to be major structural defects, but they may allow water to penetrate. Majority of the cracks were found on the left side of the house. They need to be cleaned and sealed with elastomeric crack filler. Repair cost estimate by a professional contractor is required prior to closing.



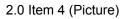
2.0 Item 1 (Picture)

2.0 Item 2 (Picture)





2.0 Item 3 (Picture)





2.0 Item 5 (Picture)

2.1 Exterior Finishes

2.0 Item 6 (Picture)

Comments: Needs Maintenance
 The exterior paint is deteriorating, peeling and/or flaking. The left side of the house cracks need to be sealed to prevent potential water infiltration and further deterioration. The left exterior wall needs to be pressure cleaned, sealed, and repainted. Repair cost estimate by a stucco contractor is required prior to closing.



2.1 Item 1 (Picture)

2.2 Lighting, Switches, and Receptacle (Exterior)

Comments: Repair or Replace

Several light fixtures at the exterior of the house are not sealed with caulk as is required. Repair cost estimate by a professional is needed before water damage occurs.



2.2 Item 1 (Picture)

2.3 Eaves, Soffits and Fascias

Comments: Repair or Replace

(1) Holes in the fascia board may contribute to faster deterioration of the wood. Those holes can be filled with wood filler and painted to protect the wood against the element. Repair cost estimate by a licensed building contractor is required prior to closing.



2.3 Item 1 (Picture)

(2) The soffit vent is damaged. All soffit vents must be covered and secured with a heavy duty galvanized screen to keep animals/insects out while allowing air movement. The vents should not be perforated. Repair cost estimate is required prior to closing.

The old/disconnected wire installed through the soffit vent screen must be removed or covered with a wire cap.





2.3 Item 2 (Picture)

2.3 Item 3 (Picture)

(3) A gap between the fascia and the soffit may allows rodents, insects or bees to enter the attic. All soffit gaps need to be sealed by a professional. Repair cost estimate by a licensed building contractor is required prior to closing.



2.3 Item 4 (Picture)

2.4 Doors (Exterior) Comments: Suggest Upgrade

Inspection Report

(1) Hurricane rated panels mounted on the face of the door and covering only the glazing DO NOT qualify the door to receive an 'impact rating" for insurance purposes. The protection system must cover the entire door, not just the glazed. To receive your full "opening protection" discount on your insurance policy, accordion shutter must be installed to protect the entire front door. Installation cost estimate is required prior to closing.



2.4 Item 1 (Picture)

(2) The front door does not fits tightly against the seal. Even fully closed, the door has cracks between the weatherstrip and the door allowing humid air to come in. Repair cost estimate by a licensed contractor is required prior to closing.



2.4 Item 2 (Picture)

(3) Door hardware on all exterior doors needs to be replaced or re-keyed for security reasons upon occupancy.

2.5 Windows

Comments: Needs Maintenance

Inspection Report

(1) We do not inspect shutters for proper installation/condition and cannot guarantee all hardwares and parts are present. The inspector recommend that all shutters be verified and placed next to their respective openings at the final walk through to make sure they are all present. Your insurance company will not give you the "hurricane protection discount" if some opening(s) are not protected.





2.5 Item 1 (Picture)

2.5 Item 2 (Picture)

- (2) Some windows lack maintenance and are hard to open. The windows mechanism need to be cleaned and lubricated.
- 2.6 Vegetation, Grading, and Drainage Comments: Functional
- 2.7 Driveways, Side walk, Walkway, and Parking Comments: Repair or Replace
- (1) The pathway on the left side of the house is unfinished. Follow up with the seller prior to closing.



2.7 Item 1 (Picture)



2.7 Item 2 (Picture)

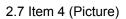
(2) The concrete driveway has cracked up and is in need of repair. Repair cost estimate from a licensed masonry contractor is required prior to closing.

The entrance tiles are elevated and can become a tripping hazard. Watch your step!





2.7 Item 3 (Picture)





2.7 Item 5 (Picture)

2.8 Porches, Patios, and Screened Enclosures Comments: Repair or Replace



2.7 Item 6 (Picture)

Inspection Report

Minor damage to the screen door was observed. The doors is rubbing the floor upon opening and the screen is torn at the bottom. It needs to be adjusted and repaired. Repair cost estimate by a screen enclosure company is required prior to closing.



The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Wood siding houses are not inspected board by board. On buildings with a large amount of wood siding, a general overall condition is reported on. Some specific locations may be noted and others will not be. The licensed contractor doing the repairs will have to evaluate, identify and give repair cost estimates to the client prior to closing.

3. Roofing



The inspector shall inspect from ground level or eaves: The roof covering materials, gutters, downspouts, ventilations, flashings, skylights, chimneys and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs. Indication of active roof leaks.

The inspector is NOT REQUIRED TO: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove debris or other conditions that prohibit the observation of the roof surfaces, move insulations, inspect antennae, satellite dishes, lightning arresters, or similar attachments. Walk on any roof surface when, in the opinion of the inspector, the following conditions exist; the roof slope is excessive to safely walk on, there is no safe access to the roof, climatic conditions render the roof unsafe to walk on, condition of the roof material renders the roof unsafe to walk on, and/or walking on the roof may cause damage to the roof material. Inspect components or systems that are not readily accessible. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof covering material.

Styles & Materials

Method of Inspection: Walked roof	Roofing Materials: Dimensional Shingles (Architectural)	Roof Age: 20 Years or More Past it's life expectancy
Flashing:	Roof Ventilation Type:	Shingle Average Lifespan = 20 years Skylight / Solar Panel:
Lead	Soffit Vents	None
Metal	Off Ridge Vents	
	Passive	
Chimney Material (exterior):		
Metal		

Chimney present

Items

3.0 Roof coverings

Comments: Repair or Replace

(1) The roof covering is beyond it's useful life as evidenced by missing/torned shingle tabs, exposed fasteners, exposed shingle mat, deteriorated shingles, excessive granule lost, and visible roof leaks. The roof needs to be replaced ASAP to prevent failures. Replacement cost estimate by a licensed roofing contractor is required prior to closing.





3.0 Item 1 (Picture)

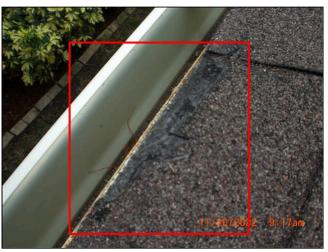
3.0 Item 2 (Picture)



3.0 Item 3 (Picture)



3.0 Item 4 (Picture)



3.0 Item 5 (Picture)



3.0 Item 6 (Picture)





3.0 Item 7 (Picture)

3.0 Item 8 (Picture)



3.0 Item 9 (Picture)

(2) Previous successful roof repair was observed at the chimney.



3.0 Item 10 (Picture)

(3) Leaves or pine needles on the roof surface will promote fast decay of the covering. Maintenance is recommended.



3.0 Item 11 (Picture)

Inspection Report

(4) Please review those pictures for roof leak locations.



3.0 Item 12 (Picture)



3.0 Item 14 (Picture)

3.0 Item 15 (Picture)

(5) The tree limbs that are in contact with the roof or hanging near the roof should be trimmed to avoid roof damages and potential roof leaks. Cutting the tree branches above the roof is recommended.



3.0 Item 16 (Picture)

3.1 Flashings

Comments: Repair or Replace

The kickout flashing is/are missing. They prevent rain water from being absorbed into the wall and are essential anywhere a roof and exterior wall intersect, where the wall continues past the lower roof edge and gutter, and where the



3.0 Item 13 (Picture)



gutter terminate at the side of a wall/chimney. Ask your roofing contractor to install them at missing locations.



3.1 Item 1 (Picture)

3.2 Roof Penetrations / Vents Comments: Functional

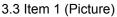
3.3 Roof drainage system

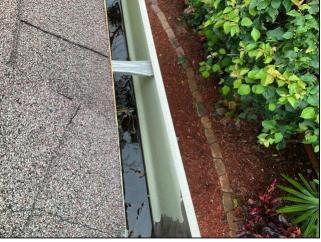
Comments: Repair or Replace

- (1) The gutters located above the kitchen dinning area are full of debris and do not provide proper rain water drainage.
- All gutters need to be kept clean and clear of debris. Monthly maintenance is needed to avoid leak and overflow that could damage fascia boards and roof eaves. Cleaning is needed.

Once cleaned, if the water accumulate inside the gutter, once again, it means that the gutter is holding water due to incorrect installation. This could results in mold growth and pests/insects problems. All gutters should slope 1/4 inch per 10 feet of gutter towards the downspouts. Further evaluation is needed after clean up.







3.3 Item 2 (Picture)



3.3 Item 3 (Picture)

(2) Water should not be discharged directly onto the roofing material. The best practice is to direct the water from higher gutters, so that it discharges into lower gutters through downspout pipes. Repair cost estimate by a gutter company is required prior to closing.





3.3 Item 4 (Picture)

3.3 Item 5 (Picture)

3.4 Chimneys Comments: Functional

Inspection Report

(1) Standards of practice for performing a general home inspection does not include a phase 1 fireplace and chimney inspection. The goal of the inspection is to provide observations which may lead to the decrease of hazardous conditions associated with fireplaces and chimneys. The inspection is limited to readily accessible and visible portions of the fireplace and chimney. The inspection should not be considered all-inclusive or technically exhaustive. All chimneys should be inspected by a certified chimney sweep prior to their first use, and inspected/cleaned annually after that. A level 2 inspection is required prior to closing.





3.4 Item 1 (Picture)

3.4 Item 2 (Picture)



3.4 Item 3 (Picture)

- (2) No fire was started to determine if the fireplace drafts correctly. The interior flue and vent systems are NOT within the scope of a home inspection either. Further investigation by a licensed sweep company is required prior to closing.
- (3) For fireplaces, chimneys, and/or fuel burning appliance inspections, the client must hires a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore DO NOT provide a complete chimney inspection. The client must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.

The National Fire Protection Association (NFPA) identifies three levels of inspections for chimneys, fireplaces, vents and solid fuel-burning appliances.

-A Level 1 inspection exceeds home inspection standards. This inspection requires removal of the damper plate for viewing of the interior surface of a fireplace smoke chamber. The inspection is conducted when the chimney is swept or during an annual inspection.

-A Level 2 inspection is usually required during real estate transactions. Level 2 requires inspection of the chimney and of the interior surfaces of the flue. This is typically done with closed-circuit video equipment.

-A Level 3 inspection is rarely performed and entails all portions of the Level 1 and Level 2 inspections as well as gaining access to concealed areas of the chimney. This inspection requires some dismantling or destruction of parts of the chimney.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings, skylights, and any other roof penetrations can appear to be leak proof during the inspection. However, the condition can changes depending on weather conditions. Our inspection makes attempts to find leaks but sometimes cannot. Roof flashing is located behind the roofing material and therefore, cannot always be visible by the home inspector. The best way to verify flashing material is when re-roofing. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used for further inspections and repairs.

Inspection Report

Dryer Vented Through:

Vented to exterior

4. Attic, Insulation, and Ventilation



The home inspector shall observe: Attic, crawlspace and foundation areas. Kitchen, bathroom, and laundry venting systems. Structural systems and components. The home inspector shall describe: Insulation in unfinished spaces and/or absence of insulation in unfinished space at conditioned surfaces.Ventilation of crawlspace and attic areas. The inspector shall inspect all of the visible structural systems and components by probing where deterioration is visible or suspected or where clear indications of possible deteriorations exist.

The home inspector is NOT REQUIRED TO: Enter the attic or crawlspace that are not readily accessible or if inadequate clearance exists, or where entry could cause damage or, in the inspector's opinion, is unsanitary or pose a safety hazard. Move, touch, or disturb vapor retarders. Break or damage the surface finish or weather seal on or around access panels or covers. Identify the composition or R-value of insulation material. Activate thermostatically or solar operated fans. Determine the type of material used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring. Determine the adequacy of ventilation. Probing, if in the opinion of the inspector, probing would only further damage any area already identified as defective or where no deterioration is visible or presumed to exist. Access areas where it could cause damage to insulation, ductwork, and/or other components or stored items. Provide any engineering or architectural services or offer an opinion as to the adequacy of any structural systems or components.

Styles & Materials

Attic Insulation:

Blown Cellulose Below Recommended R-38 Hatch not insulated

Attic Access Location:

Bedroom Garage Pull Down Stairs

Kitchen / Bathrooms Exhaust Fans: Vented to exterior

Method used to observe attic: Walked / Crawled

Items

4.0 Attic Access

Comments: Repair or Replace

(1) The pull down ladder joints stay open when the ladder is fully extended. This causes excessive stress at the crushing point of contact. This is a safety hazard. Repair cost estimate by a licensed general contractor is required prior to closing.





4.0 Item 1 (Picture)

4.0 Item 2 (Picture)

ural services or offer an opinion as to ials Kitcher

Sample Inspection Report

Inspection Report

(2) The pull down stairs ladder has been improperly installed and represents a high level of risk for who uses the stairs. Per the manufacturer, the stair needs to be shortened so they come down in a straight line with the bottom feet beveled to sit flat on the floor. The metal corner brackets on the hinge side and the frame must be fastened with a minimum of two 16 penny nails on all sides. This requires repair by a licensed contractor for safety. Repair cost estimates must be obtained prior to closing.





4.0 Item 3 (Picture)

4.0 Item 4 (Picture)



4.0 Item 5 (Picture)

4.1 Attic Space Comments: Repair or Replace

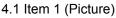


4.0 Item 6 (Picture)

Inspection Report

(1) Due to insufficient clearances or unsafe conditions, the inspector was unable to crawl through the entire attic. The attic inspection is incomplete and limited. The inspector was NOT able to visually inspect all attic areas. Further evaluation is required prior to closing.







4.1 Item 2 (Picture)



4.1 Item 3 (Picture)

(2) Unsealed gaps in ceilings become pathways that allow airborne particles, moisture, and pests to escape from one area to another where they can create health hazards. The ceiling penetrations must be sealed for energy efficiency as well. This could be done using fire rated sealant, caulk, or expanding foam. Repair cost estimate by a handyman is required prior to closing.



4.1 Item 4 (Picture)

Inspection Report

Florida Wisdom Home Inspections LLC

4.2 Insulation

Comments: Repair or Replace

- (1) The attic insulation is insufficient. In Florida, recommended R-value insulation is R-38. This requirement has been changed in 2022 to R-49. Less will result in higher electricity bills. Installation cost estimate by an insulation company is required prior to closing.
- (2) The attic hatch inside the main bedroom closet is missing insulation and weather stripping. Attic hatch inside the house must have insulation and have a weather stripping in the frame to seal the opening. Attic stairs inside the house require an insulated box to cover the attic opening. The buyer should obtain cost estimates from a licensed handyman prior to closing.
- (3) The batt insulation has fallen down at the attic side walls. The insulation needs to be re-installed and properly secured by a licensed insulation contractor to provide the required thermal barrier and energy efficiency. Repair cost estimate is required prior to closing.



4.2 Item 1 (Picture)

4.2 Item 2 (Picture)

4.3 Ventilation

Comments: Repair or Replace

The soffit vents have been blocked by improperly installed insulation at the eaves at multiple areas in the attic space. A minimum clearance of 1 inch between the roof sheathing and the top of the insulation is needed. This clearance is required to allow airflow into the attic to cool it down. Without proper ventilation, the attic will become extremely hot and humid which can cause the sheathing to buckle. Repair cost estimate by a licensed insulation company is required prior to closing.



4.3 Item 1 (Picture)

4.4 Bathroom and Kitchen Fans Comments: Functional The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). **Only visible items were inspected**. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System



The inspector shall: Verify the presence of and identify the location of the main water and/or fuel shut-off valve. Inspect the water heating equipment, including the venting connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief (TPR) valves. Flush toilets. Inspect all of the visible interior water supply and drainage including all fixtures and faucets, by running the water. Inspect the drain, waste and vent systems. Inspect the drainage sump pumps with accessible floats. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously, deficiencies in installation of hot and cold faucets, active plumbing leaks that were observed during the inspection, and toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

The inspector is NOT REQUIRED TO: Light or ignite pilot flames. Determine the capacity, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys if not accessible, combustion air systems, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection. Determine the adequacy of whirlpool or spa jets, water force, or bubble effects. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient cleanouts for effective cleaning of drains. Evaluate gas, liquid propane, underground fuel storage tanks or supply systems. Inspect any sewage waste disposal system, component of, and septic tanks. Evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, shut-off valves, manual stop valves, temperature/pressure relief valves, control valves, and/or check valves. Examine ancillary/auxiliary systems or components, such as, but not limited to, those relating to solar water heating and hot water circulation. Determine the existence or condition of polybutylene, or similar plastic piping. Inspect or test for gas or fuel leaks, or indications thereof.

Styles & Materials

Water Source:	Supply Piping:	Drain Waste & Vent Piping:
Municipal	Copper	PVC
		Not inspected underground
Water Heater Info:	Energy Source:	Main Water Shutt Off Location:
50 Gal	Electric	Left Side of the House
AO Smith		
Electric		
5-6 Years Old		
Located in garage		
Sprinkler System:	Well Pump Type:	
Yes	Above ground	
4 zones	Used for Sprinklers Only	
Well water supply		
Items		

5.0 Plumbing water supply and distribution system Comments: Functional

(1) Cold water temp.



5.0 Item 1 (Video) (2) Hot water temp.



5.0 Item 2 (Video)

5.1 Plumbing drain, waste and vent system

Comments: Functional

(1) The drains on the property cannot be seen or verified underground. The inspector was unable to determine conclusively if the drainage system is 100% functional. Drainage problems may not show up in the limited time span of the inspection. The buyer must question the seller in writing about drain problems and must seriously consider having the house sewer inspected with a camera prior to closing.

(2) All visible drain pipes were PVC. Please note that the inspector cannot see through walls or floors. It is possible that other piping material exist. Prior to closing, further evaluate with a plumber if concerned.

5.2 Water Flow

Comments: Functional

5.3 Drain Flow

Comments: Functional

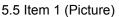
5.4 Exterior faucets / Hose bibbs

Comments: Functional

5.5 Water heater / Circulation Pump Comments: Functional







5.5 Item 2 (Picture)

5.6 TPR Valve

Comments: Needs Follow up

✓ Due to the age of the TPR valve and the water heater location (inside the garage), it was not tested. Older valves that have never been exercised (opened once a year per the manufacturers specifications) have tendency to stick open. If concerned, the buyer should have it tested by a plumber, once the seller personal belonging have been removed, and prior to closing. Further evaluation is required.

5.7 Main Water Shutt-Off

Comments: Functional

5.11 Well System

Comments: Needs Follow up

Æ The well appears to be for irrigation only. Follow up with the seller to confirm the well location and usage.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can seam unobstructed during an inspection but then fail later on. If the water is turned off or not used for long periods of time (like a vacant home waiting for closing), rust or deposits within the pipes can clog or damage the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The drains on the property cannot be seen or verified underground. The inspector was unable to determine conclusively if the drainage system is 100% functional. Drainage problems may not show up in the limited time span of the inspection. The buyer must question the seller in writing about drain problems and must seriously consider having the house sewer inspected with a camera prior to closing.

Inspection Report

6. Electrical System



The inspector shall inspect: The overhead service conductors and components. The electric meter and base. The service entrance conductors and main disconnect. Electrical panels, breakers and fuses. The service grounding and bonding. For the absence of smoke detectors and carbon monoxide detectors. A REPRESENTATIVE NUMBER of switches, light fixtures, and receptacles (including AFCI receptacles). Test all GFCI receptacles and GFCI circuit breakers. Report on the presence of solid conductor aluminum branch circuit wiring if readily visible.

The inspector is NOT REQUIRED TO: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate re-set over current protection devices or overload devices. Operate or test smoke or carbon monoxide detectors or security alarms/ fire alarms systems. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of the panel labeling (legend). Inspect exterior lighting.

Styles & Materials

Electrical Service: 150 AMPS Underground	Electrical Service Conductors: #1 Unmarked	Main Disconnect Location: Exterior Left side of house
Sub Panel Location:	Wiring Types / Methods:	Electric Panel Manufacturer:
Garage	Non Metallic Sheathed Cable (Romex) Copper Wiring in Conduits	Breaker Type Panel GENERAL ELECTRIC
Panel Legend (Circuit Labeling):	Grounding:	GFCI Locations:
Yes	Unknown Not Visible	Exterior, Bathrooms, and Kitchen
AFCI Locations:	Smoke detectors:	Carbon Monoxide detectors:
None Present	Yes, BUT Upgrade Needed	Yes
	Hallways	Suggest Upgrade
	Bedrooms	Location:
		Hallway

Items

6.0 Service panel (main panel with service disconnect)

Comments: Functional

The service conductor sizes have been guessed upon the opinion of the inspector. The service cables were unmarked at the time of the inspection. Follow up with a licensed electrician prior to closing if concerned.



6.0 Item 1 (Picture)



6.0 Item 2 (Picture)



6.0 Item 3 (Picture)

6.1 Distribution panel (sub panel)

Comments: Repair or Replace

(1) Double tap at the grounding bar is allow only if the manufacturer instruction says so. The number of conductors in a terminal is limited to that for which the terminal is designed and listed. In this case, two ground wires under one lug intended for a single wire is not allowed. It is a code violation that must be addressed by a licensed electrical contractor. Repair cost estimate must be obtained prior to closing.



6.1 Item 1 (Picture)

Inspection Report

(2) Breaker rated for 15 Amps are usually for lights and receptacles. They must be connected with a #14 copper wire. At the time of the inspection, the wire size was incorrect. Further evaluation by a licensed electrician is required prior to closing.





6.1 Item 2 (Picture)

6.1 Item 3 (Picture)

(3) An open gap into the wood frame wall exists between the metal panel box and the wall finish. This is required to be filled/sealed to avoid fire spread inside the walls. Fire rated expanding foam is the easiest way to seal this gap. Repair cost estimate by a licensed handyman is required prior to closing.



6.1 Item 4 (Picture)



6.1 Item 5 (Picture)

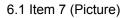
Inspection Report

(4) This house electrical sub panel have a transfer switch for a portable generator. Generators and transfer switch systems are outside of the scope of a regular home inspection. This system must be further evaluated by a licensed electrical contractor prior to use. Ask your electrician to teach you about using the system. It will be usefully during power outage. Further evaluation is required prior to closing.

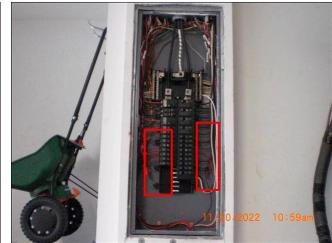


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6.1 Item 6 (Picture)







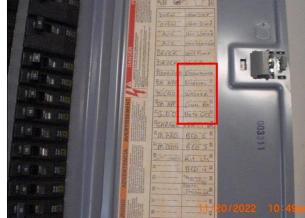
6.1 Item 8 (Picture)

6.1 Item 9 (Picture)

(5) The dishwasher and the disposal are plugged into the same outlet. However, the electrical panel shows that they are under different circuits. Some appliances will simply use too much power to be safely used on the same circuit as other, and for this reason further evaluation by a licensed electrical contractor is required prior to closing.



6.1 Item 10 (Picture)



6.1 Item 11 (Picture)

6.2 Grounding Equipments

Comments: Needs Follow up

The grounding conductor goes underground, and the inspector was unable to visually verify the connection to the ground rod. Most residential construction requires two separate grounding electrodes, 6 feet apart, in any combination of the following: driven rods, metal water pipes, well casings, ufergrounds, groundplates, steel framing, and/or ground rings. The installation is questionable. Further evaluation by an licensed electrical contractor is required prior to closing.



6.2 Item 1 (Picture)

6.3 Wiring

Comments: Repair or Replace

(1) Old, abandoned electrical wires located on the roof was terminated improperly and need to be removed. Once removed, the hole in the stucco must be filled with sealant to avoid insect entry. Repair cost estimate by a licensed electrician or handyman is needed prior to closing.



6.3 Item 1 (Picture)

(2) Exposed wiring was found at the air handler. Wires not concealed inside walls are required to be enclosed in a listed conduit for safety. Repair cost estimate by a licensed electrician is required prior to closing.



6.3 Item 2 (Picture)

6.4 Lighting, Fixtures, and Switches Comments: Functional

6.5 Receptacle

Comments: Needs Follow up

- (1) Most receptacles were obscured from view due to stored items and furnishings. We recommend that all receptacles are inspected for proper operation when they become accessible. The inspector did NOT test all receptacles. Further evaluation is required prior to closing.
- (2) Only a representative number of outlets were tested during the inspection. However, the receptacle covers were NOT removed for electrical inspection. Any outlet not accessible (behind the refrigerator for example) was NOT inspected or accessible.

6.6 Operation of GFCI and AFCI

Comments: Repair or Replace

(1) The GFCI receptacles at the house exterior are faulty. The receptacles might be malfunctioning or they might not be connected properly. The GFCI did not tripped when tested. Further evaluation is required by a licensed electrician prior to closing.





6.6 Item 1 (Picture)

6.6 Item 2 (Picture)

(2) The exterior GFCI outlet box is loose and not water tight. Caulk must be used to seal the box. Repair cost estimate by a licensed electrician is required prior to closing.



6.6 Item 3 (Video)

- (3) AFCI protection was not required when this structure was built. Upgrading involves adding special breakers to your existing interior branch circuits which protect your home from electrical fires. The outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms areas should be AFCI protected. Consult with a licensed electrician if interested.
- (4) Electrical safety standards require GFCI protection at all exterior, garage, bathrooms, kitchen countertops, laundry/ utility room, hydro-massage tubs, hot tubs, spa, pool, wet bar, crawlspace, and basement. It is recommended that you add GFCI protection at these locations for your own safety. All electrical work must be done by a licensed electrician.

No electrical outlets were found in the garage. They might be obstructed from view by stored articles. Once the owner belongings are removed, those outlets must be tested for proper functioning. These outlets must be GFCI protected. Further evaluation is required at the final walk through.

6.7 Smoke Detectors / Carbon Detector

Comments: Repair or Replace

- (1) Operate/test smoke detectors, carbon-monoxide detectors, or alarms is outside of the home inspectors scope of practice. Make sure to test those systems prior to move in for your own safety.
- (2) Replacing missing, inoperable or older smoke detectors is needed. The NFPA requires a smoke alarm on every
- Ievel and outside each sleeping area in existing construction. The NFPA requires smoke alarms to be installed inside each bedroom, outside each bedroom area, and on every level in new construction home. Per the Consumer Product Safety Commission, smoke detectors are only effective for 10 years. All detectors older than 10 years old need to be replaced. All smoke detectors must be tested upon moving into the home. For more information, please visit the NFPA website at: https://www.nfpa.org
- (3) The state standard of a regular home inspection required to describe the presence or absence of smoke alarms and carbon monoxide alarms. Therefore, the inspector do not warrant if the devices are whether working or not. It is the client responsibility to install missing devices and test all devices prior to moving in. The NFPA requires replacement of smoke alarms after 10 years and carbon monoxide alarms after 6 years. It is important to test your alarms monthly. If your carbon monoxide or smoke alarm has replaceable batteries, they should be changed every 6 months.
- (4) Only one carbon monoxide detector was found in the hallway. One must be installed next to the fireplace for safety. This must be done prior to moving-in.





6.7 Item 1 (Picture)

6.7 Item 2 (Picture)

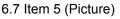


6.7 Item 3 (Picture)



6.7 Item 4 (Picture)









6.7 Item 6 (Picture)



6.7 Item 7 (Picture)

6.8 Attic electrical

Comments: Repair or Replace

+ Open and/or improper electrical splices were observed throughout the attic space above the garage and above the bedrooms. Electrical connections are required to be installed inside a junction box for safety. A licensed electrician must walk the entire attic space and make repairs to all incorrect splice connections. Repair cost estimate by a licensed electrician is required prior to closing.



6.8 Item 1 (Picture)

6.7 Item 8 (Picture)



6.8 Item 2 (Picture)

6.9 Doorbell

Comments: Functional

6.10 Electric Meter Comments: Functional

6.11 Service Entrance Conductor / Cable / Mast Comments: Functional

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. A representative numbers of outlets/receptacles were tested during the inspection, however, the receptacle covers were not removed for electrical inspection. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Heating / Air Conditioning



The inspector shall inspect: All the readily accessible heating and cooling systems/components and describe the energy source and heating/cooling method using normal operating controls and report as in need of repair any systems that did not operate or was not accessible. READILY ACCESSIBLE AND VISIBLE portions of the fireplaces, vent systems, flues, and chimneys. The fireplace damper, screen, door, lintel, cleanout door and frame if readily accessible and operable. And report as in need of repair the lack of carbon monoxide detector/smoke detector in the same room as the fireplace.

The inspector is NOT REQUIRED TO: Inspect, measure, or evaluate heat exchangers, combustion air systems or make-up air devices, fresh air intakes, draft adequacy/characteristics, humidifiers, dehumidifiers, electronic air filters, UV lights, sanitizers, solar heating systems, geothermal systems, automatic fuel feed devices, and underground or concealed fuel tank or supply systems. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating or cooling system. Inspect internal components such as coils and pans. Ignite or extinguish fires. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat or cooling anticipation or automatic setbacks, timers, programs or clocks. Measure or calculate the air for combustion, ventilation, or dilution of flue gases for appliances. Inspect cooling window units, through-wall units, or electronic air filters. Operate cooling equipment or systems if exterior temperature is below 65 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Examine electrical current, coolant fluids or gasses, or coolant leakage. Determine if the ductwork is leak free and/or clean. Determine indoor air quality. Dismantle or remove any components or equipments. Inspect inaccessible flue, chimney, or vents systems. Inspect fire doors or screens (if not permanently attached), fire chambers, seals or gaskets, mantels, fireplace surrounding, and/or heat distribution assists. Move fireplace inserts or stoves or firebox contents. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light gas fireplace or heaters, or other unlit pilot flames. Determine the appropriateness of any installation. Move fireplace and chimney inspection.

Styles & Materials

HVAC Equipment Type:	Heating System Type:	Condenser Manufacturer / Size:
Split System Air Conditioning	Electric	3.5 Tons
Central Air & Heat	Forced air (fan, ducts, pipe)	RHEEM
	Fireplace	
Air Handler Manufacturer / Size:	Overflow emergency cut off switch:	HVAC Equipment Locations:
3.5 Tons	Yes	Air handler in hallway
RHEEM		Exterior compressor on right side of house
HVAC Equipement Age:	Cooling Energy Source:	Heat Energy Source:
9-10 Years	Electric	Electric
		Wood
Filter Location/Type:	Ductwork:	Operating Control Location:
Disposable	Flex and Duct Board	Hallway
Bottom of air handler		
Types of Fireplaces or Solid Fuel Appliances:	Chimney Flue Material:	
Wood	Metal Lining	
Items		

7.0 Exterior compressor/condenser unit Comments: Functional



7.0 Item 1 (Picture)

MFD. /FAB 08/2012 MODEL NO. / 14AJM49A01 MODÈLE Nº SERIAL NO./ N° DE SÉRIE OUTDOOR USE/ 8254W351212045 USAGE EXTÉRIEUR 208/230 PHASE. 1 HERTZ 60 VOLTS COMPRESSOR/ COMPRESSEUR R. R.L.A. 19.9/19.9 L.R.A. 109 OUTDOOR FAN MOTORY F.L. MOTEUR VENTIL. EXT. F.L. MIN. SUPPLY CIRCUIT AMPACITY/ COURANT ADMISSBLE D'ALIM. MIN. MXX. FUSE OR CKT. BRK. SIZE*/ CAL. MIN. DE FUSIBLE/DISJ* MIN. FUSE OR CKT. BRK. SIZE*/ CAL. MIN. DE FUSIBLE/DISJ* F.L.A. 1.9 HP. 1/3 27/27 AMF 45/45 AMF 35/35 AMP 450 PSIG/3102 Kpa SIG/1724 Kpa

7.0 Item 2 (Picture)

7.1 Condensate drain and pan

Comments: Repair or Replace

(1) The AC condensate line shows no sign of blockage at the time of the inspection.



7.1 Item 1 (Video)

Inspection Report

(2) Water stains were observed around the air handler unit. The possible cause is a clogged condensate drain line. The drain line must be flushed on a regular schedule to prevent overflow. Flushing drain line can be done every season by a professional AC technician.

The line appears to be functional at the time of the inspection and the water stains were dry. Those stains appears to be older. However, leaks are more likely to happen with this installation. Usually, condensate lines are installed and sloped toward the discharge point. In this case, the line is installed level. When the air conditioning handler is replaced, the condensate line must be replaced and installed properly.





7.1 Item 2 (Picture)

7.1 Item 3 (Picture)



7.1 Item 4 (Picture)

- 7.2 Refrigeration lines Comments: Functional
- 7.3 Air handler / Evaporator coils Comments: Repair or Replace

Inspection Report

(1) Visible discoloration, suspected microbial growth, and water marks were found where the ductwork and the AC handler interconnect. This suggest air leaks in between the two. Cold air in contact with hot air creates condensation water which then cause water damages. The duct tape must be removed and the AC handler must be re-sealed properly to avoid further damages. Further evaluation and repair cost estimate by a licensed HVAC contractor is required prior to closing.





7.3 Item 1 (Picture) (2)

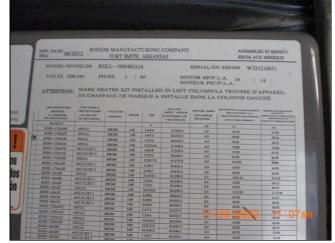
7.3 Item 2 (Picture)



7.3 Item 3 (Picture)



7.3 Item 4 (Picture)



7.3 Item 5 (Picture)

7.4 Equipment filters



Comments: Functional

- 7.5 Distribution duct systems (grill, support, insulation, register) Comments: Functional
- 7.6 Heating Equipment Comments: Functional
- 7.7 Operating controls (heat and cooling) Comments: Functional





7.7 Item 1 (Picture)

7.9 Fireplaces / Solid Fuel Heating Devices

Comments: Needs Follow up

- (1) For a fireplaces, chimneys, and/or fuel burning appliances inspections, the client must hire a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore do not provide a complete chimney/fireplace inspection. The buyer must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.
- (2) Standards of practice for performing a general home inspection does not include a phase 1 fireplace and chimney inspection. The goal of the inspection is to provide observations which may lead to the decrease of hazardous conditions associated with fireplaces and chimneys. The inspection is limited to readily accessible and visible portions of the fireplace and chimney. The inspection should not be considered all-inclusive or technically exhaustive. All chimneys should be inspected by a certified chimney sweep prior to their first use, and inspected/cleaned annually after that. A level 2 inspection is required prior to closing.

7.7 Item 2 (Picture)

(3) For fireplaces, chimneys, and/or fuel burning appliance inspections, the client must hires a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore DO NOT provide a complete chimney inspection. The client must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.

The National Fire Protection Association (NFPA) identifies three levels of inspections for chimneys, fireplaces, vents and solid fuel-burning appliances.

-A Level 1 inspection exceeds home inspection standards. This inspection requires removal of the damper plate for viewing of the interior surface of a fireplace smoke chamber. The inspection is conducted when the chimney is swept or during an annual inspection.

-A Level 2 inspection is usually required during real estate transactions. Level 2 requires inspection of the chimney and of the interior surfaces of the flue. This is typically done with closed-circuit video equipment.

-A Level 3 inspection is rarely performed and entails all portions of the Level 1 and Level 2 inspections as well as gaining access to concealed areas of the chimney. This inspection requires some dismantling or destruction of parts of the chimney.

7.10 Chimneys (Flues and Vents) -fireplaces, gas water heater or heating system

Sample Inspection Report

Comments: Repair or Replace

(1) The attic insulation shield is used through the ceiling to prevent insulation and other debris from contacting the chimney in the attic. The attic insulation shield is placed above the ceiling support box on top of the framing of the ceiling where the chimney passes through the attic. None was installed. Cellulose insulation is made of recycle paper material. This is a fire safety hazard. Further evaluation and repair cost estimate by a professional chimney installer is required prior to closing.





7.10 Item 1 (Picture)

÷

7.10 Item 2 (Picture)

(2) The firestop is not installed at the top where the chimney passes through the roof. The firestop should allow a fireresistance rating greater than the roof assemblies through which the vent passes. Further evaluation and repair cost estimate by a professional chimney installer is required prior to closing.

Fireplace installations require a permit. Follow up with the building department and make sure a permit was pulled for the installation of the fireplace.



7.10 Item 3 (Picture)

7.11 Fire Screens / Doors / Lintel / Damper / Hearth Comments: Functional

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. **The inspection is not meant to be technically exhaustive.** The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

For a fireplaces, chimneys, and/or fuel burning appliances inspections, the client must hire a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore do not provide a complete chimney inspection. The buyer must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.

Sample Inspection Report

8. Interior Components



The home inspector shall observe: Walls, ceilings, floors, steps, stairs, landing, stairways, ramps, railings, guards, handrails, balusters, counters, a representative number of installed cabinets, and a representative number of doors and windows by opening and closing them. The home inspector shall report on any windows that was obviously fogged or displayed other evidence of broken seals.

The inspector is NOT REQUIRED TO: Inspect paint, wallpaper, window treatments, carpeting, draperies, blinds, or finish treatments on interior walls, ceilings, and floors. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of islands, countertops, cabinets, sink tops and/or fixtures. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move suspended ceiling tiles. Inspect or move any household appliances. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Open or operate any windows or doors that are permanently or temporarily secured by mechanical means, painted shut, or are blocked by stored items or furnitures. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small ancillary devices. Inspect items not permanently installed. Discover firewall compromises. Inspect pools, spas, water ponds, sauna, steam room, or fountains. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment.

Styles & Materials

Interior Finishes:	Floor Covering(s):
Drywall	Tile
Textured finish	Carpet
Items	

8.0 Ceilings

Comments: Repair or Replace

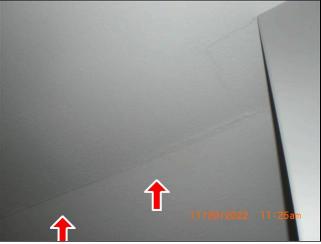
The ceiling reveals hairline cracks in multiple areas. The tape at the seams might be missing and/or those lines can be from high home humidity levels. Contraction and expansion of the ceiling is common and causes ceiling cracks. The ceiling can be re-finished by a licensed contractor. This involve texture removal, application of fresh compound, and new paint. If the cracks open again or open wider, further evaluation by a structural engineer will be needed. Monitoring the crack is required. The ceilings textured finishes increase the difficulty in matching the existing finish, complicate, and increase the cost of repairs.



8.0 Item 1 (Picture)

8.0 Item 2 (Picture)





8.0 Item 3 (Picture)

8.0 Item 4 (Picture)

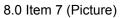




8.0 Item 5 (Picture)

8.0 Item 6 (Picture)





8.1 Floors

Comments: Needs Follow up

8.0 Item 8 (Picture)

- (1) The house was fully furnished and occupied at the time of inspection. Several areas were not visible due to stored articles, owner furnishings, restricted areas, and general household items. Additional damages that was concealed at the time of the inspection may be found when these items are removed. These areas should be inspected when they are free of obstructions to determine if any other damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection.
 - (2) The flooring material shows normal signs of wear and tear.

8.2 Walls

Comments: Needs Follow up

(1) The house was fully furnished and occupied at the time of inspection. Several areas were not visible due to stored articles, owner furnishings, restricted areas, and general household items. Additional damages that was concealed at the time of the inspection may be found when these items are moved. These areas should be inspected when they are free of obstructions to determine if any other damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection.

(2) A notice of WDO inspection and/or notice of treatment was found. Please follow up with the seller for explanation.
 Request, in writing, a seller disclosure that explain in detail past or present termites and other wood destroying organisms infestation.

Florida Wisdom Home Inspections LLC did not perform a WDO inspection and did not inspect for any indication and/or presence of wood-destroying organisms within the structure. This includes; termites, carpenter bees, wood boring beetles, anobiid beetles, bostrichid beetles, powderpost beetles, carpenter ants, and wood decaying fungi. A REGULAR HOME INSPECTION HAS BE PERFORMED ONLY. The client can contact the inspector to schedule a wood destroying organisms (WDO) inspection for a fee, if necessary. Contact us at 561-509-4190 for more information.





8.3 Windows

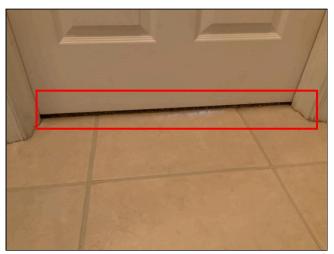
Comments: Needs Maintenance

The window(s) lack(s) maintenance and is/are hard to open. The window(s) mechanism need(s) to be cleaned and lubricated.

8.4 Doors

Comments: Suggest Upgrade

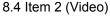
(1) The resistance felt when opening the doors is created by pressure within the home. To avoid this, a clearance of 3/4 inch between the door and the carpet is needed. Repair cost estimate from a licensed handyman is required prior to closing.



8.4 Item 1 (Picture)

(2) The doors are rubbing the carpet and needs to be trimmed for proper use. Repair cost estimate from a licensed handyman is required prior to closing.





8.5 Closets

Comments: Functional

The house was fully furnished and occupied at the time of inspection. Several areas were not visible due to stored articles, owner furnishings, restricted areas, and general household items. Additional damages that was concealed at the time of the inspection may be found when these items are removed. These areas should be inspected when they are free of obstructions to determine if any other damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection.

8.6 Patio Door(s) / Emergency Escape Door Comments: Functional

8.8 Fireplace

Comments: Functional

Inspection Report

Standards of practice for performing a general home inspection does not include a phase 1 fireplace and chimney inspection. The goal of the inspection is to provide observations which may lead to the decrease of hazardous conditions associated with fireplaces and chimneys. The inspection is limited to readily accessible and visible portions of the fireplace and chimney. The inspection should not be considered all-inclusive or technically exhaustive. All chimneys should be inspected by a certified chimney sweep prior to their first use, and inspected/cleaned annually after that. A level 2 inspection is required prior to closing.



8.8 Item 1 (Picture)



8.8 Item 2 (Picture)



8.8 Item 4 (Picture)



8.8 Item 3 (Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The house may be fully furnished and occupied at the time of inspection. Several areas were NOT VISIBLE and NOT INSPECTED due to stored articles, owner furnishings, restricted areas, and general household items. Additional problems such as damaged drywall, moisture damage or other defective items may be found when all personal belongings have been removed. These areas must be re-inspected by the buyer at the final walk-through prior to closing to determine if any damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection. Further evaluation is required prior to closing. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report

Sample Inspection Report

9. Bathrooms



The inspector shall: Verify the presence of and identify the location of the main water and/or fuel shut-off valve. Inspect the water heating equipment, including the venting connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief (TPR) valves. Flush toilets. Inspect all of the visible interior water supply and drainage including all fixtures and faucets, by running the water. Inspect the drain, waste and vent systems. Inspect the drainage sump pumps with accessible floats. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously, deficiencies in installation of hot and cold faucets, active plumbing leaks that were observed during the inspection, and toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

The inspector is NOT REQUIRED TO: Light or ignite pilot flames. Determine the capacity, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys if not accessible, combustion air systems, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage or for functional overflow protection. Determine the adequacy of whirlpool or spa jets, water force, or bubble effects. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient cleanouts for effective cleaning of drains. Evaluate gas, liquid propane, underground fuel storage tanks or supply systems. Inspect any sewage waste disposal system, component of, and septic systems. Inspect water treatment systems, water filters, filtering equipment, or provide water analysis. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, shut-off valves, manual stop valves, temperature/pressure relief valves, control valves, and/or check valves. Examine ancillary/auxiliary systems or components, such as, but not limited to, those relating to solar water heating and hot water circulation. Determine the existence or condition of polybutylene, polyethylene, or similar plastic piping. Inspect or test for gas or fuel leaks, or indications thereof.

Styles & Materials

Ventilation:	Shower/tub:
Fan with light	Build In shower
	Tub Only
	Tub-shower Unit
Items	

9.0 Sinks

Comments: Repair or Replace

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The cabinet bottom in the guest bathroom has water stains. This indicate a current or previous leak. At the time of the inspection, no visible leak was found. The buyer must question the seller about previous leaks and repairs in that area.

If not repair was made, the leak must be consider as active and must be further evaluated by a licensed plumber. Further evaluation is required.



9.0 Item 1 (Picture)

9.1 Toilets

Comments: Functional

9.2 Bathtubs

Comments: Repair or Replace

(1) An open gap was noted at the shower/bathtub faucet. This gap needs to be re-sealed with caulk to prevent water from getting into the wall and causing damage. Repair cost estimate by a licensed contractor is required prior to closing.



9.2 Item 1 (Picture)

(2) The tub does not have an access panel. A 12x12-inch minimum sized opening must be installed to provide access for plumbing repairs and maintenance. It is strongly recommended to install one when the bathroom is being remodeled.



9.2 Item 2 (Picture)

9.4 Showers

Comments: Functional

Many plumbing components are hidden, therefore, not available for inspection. Bath and shower pans/drains are examples of components that simply cannot be visibly inspected.

9.5 Vanity Cabinets / Counter

Comments: Functional

9.6 Outlets, Switches and Fixtures

Comments: Functional

9.7 Ceiling

Comments: Functional

9.8 Walls

Comments: Functional

9.9 Floors

Comments: Functional

Inspection Report

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can seam unobstructed during an inspection but then fail later on. If the water is turned off or not used for long periods of time (like a vacant home waiting for closing), rust or deposits within the pipes can clog or damage the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Kitchen / Appliances



The home inspector will observe and operate the basic functions of the following appliances: Permanently installed dishwasher (through its normal cycle), range, cook top, permanently installed oven, garbage disposal, ventilation equipment or range hood, refrigerator, permanently installed microwave oven, fuel burning appliances, vent systems and flues (if accessible), and washer / dryer machine (through its normal cycle). The home inspector shall observe: Walls, ceilings, floors, steps, stairs, landing, stairways, ramps, railings, guards, handrails, balusters, countertops, a representative number of installed cabinets, and a representative number of doors and windows by opening and closing them. The inspector shall inspect household appliances to determine whether the appliances are significantly deficient using normal operating controls.

The inspector is NOT REQUIRED TO: Inspect paint, wallpaper, window treatments, carpeting, draperies, blinds, or finish treatments on interior walls, ceilings, and floors. Inspect safety glazing. Evaluate the fastening of islands, countertops, cabinets, sink tops and/or fixtures. Move furniture, stored items, or any coverings in order to inspect the concealed area. Move suspended ceiling tiles. Move any household appliances. Activate any systems or appliances that are shut down, disconnected, inoperable, or when damage may occur. Operate or evaluate any systems, components, or appliances that do not respond to normal user controls. Operate any gas appliances that require the manual lighting of a pilot light or burner device. Operate any system, appliance or component that requires the use of special keys, codes, combinations, devices, or manual. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine toaster, ice-maker, coffee-maker, canopener, blender, instant hot water dispenser, other small ancillary devices, or non built-in appliances. Inspect appliance timers, door seals, clocks, thermostats, time features, defrost cycles or frost free features, automatic operation, fuel gas systems, calibration of elements or heating elements, and operate all appliance cycles or special features. Determine the presence or operation of back draft damper devices in exhaust devices. Inspect items not permanently installed.

Styles & Materials

Range / Oven:	Exhaust/Range hood:	Refrigerator:
Yes	RE-CIRCULATE	Yes
Free standing / Electric		WHIRLPOOL
Built in Microwave:	Dishwasher:	Disposer:
Yes	Yes	Yes
GENERAL ELECTRIC	Whirlpool	
Dryer Power Source:	Dryer Vent Material:	Washer:
Electric	Flexible Metal	Yes
		LG

Items

10.0 Sink

Comments: Functional

10.1 Refrigerator

Comments: Functional

The water filtration system was not inspected. Change the filter upon moving in.

10.2 Icemaker

Comments: Functional

10.3 Dishwasher

Comments: Repair or Replace

The dishwasher is not securely attached to the countertop to prevent tipping. To avoid incidents, repair by a qualify technician is required prior to closing.

10.4 Food waste disposer

Comments: Repair or Replace

The garbage disposal was excessively noisy, indicating that it may have worn components. The unit may needs to be replaced. Replacement cost estimate is required prior to closing.



10.4 Item 1 (Video)

10.5 Ranges / Ovens / Cooktops

Comments: Functional

The self-cleaning function was not tested.

10.6 Range hood

Comments: Functional

Fans and filters are small items that play a big role in moisture and mold management. This fans merely filter and only re-circulate the air, which does not reduce moisture and odor produced from cooking. A fan that exhaust the air to the outside of the house is much better. Upgrade to a kitchen hood is recommended.

10.7 Microwave

Comments: Functional

The microwave was not tested for oven radiation leaks. Further evaluation is recommended if needed.

10.8 Cabinets/Countertops

Comments: Functional

10.9 Kitchen Receptacle

Comments: Repair or Replace

(1) The dishwasher and the disposal are plugged into the same outlet. However, the electrical panel shows that they are under different circuits. Some appliances will simply use too much power to be safely used on the same circuit as other, and for this reason further evaluation by a licensed electrical contractor is required prior to closing.





10.9 Item 1 (Picture)
10.9 Item 2 (Picture)
(2) The receptacle testing indicate open ground at the dinning area in the kitchen. Repair cost estimate by a licensed

Sample Inspection Report

electrical contractor is required prior to closing.



10.9 Item 3 (Picture)

10.10 Laundry Equipment

Comments: Repair or Replace

An improper dryer fitting with a screen was installed. Since 2002, the building code requires a special fitting with a back draft damper. Screen can become clogged which may lead to a house fire. Repair cost estimate by a handyman is required prior to closing.



10.10 Item 1 (Picture)

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. At the time of the inspection, If appliance are shut down, disconnected, or otherwise rendered inoperable. Follow up with the seller for explanation and demo on how to operate the appliance prior to closing. Please take note that the inspector will not operate systems or appliances if they have been excluded in the scope of services disclosure or if there is a risk to the property being inspected. Inspectors will first review the system to be operated and use professional judgment as to whether it is safe to operate using normal operating controls and report accordingly. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11. Garage / Carport



The home inspector shall observe: Walls, ceilings, floors, garage vehicle doors, photo-electric safety sensors, adjacent doors and windows by opening and closing them (if accessible). The home inspector shall operate the garage vehicle door manually and using the garage door opener.

The inspector is NOT REQUIRED TO: Inspect paint, window treatments, or finish treatments on interior walls, ceilings, and floors. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Move furniture or stored items in order to inspect concealed items and/or structure components. Operate any systems or components that are permanently shut or require the use of special keys, codes, combinations, or devices.

Styles & Materials

Garage Type:

Attached

Garage Door Type: Sectional Wind Pressure Rated

Items

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11.0 Garage Ceilings

Comments: Repair or Replace

- The ceiling reveals hairline cracks in multiple areas in the garage. The cracks can be from high humidity levels.
- Contraction and expansion of the ceiling is common and causes ceiling cracks. The ceiling can be re-finished by a licensed contractor. This involve texture removal, application of fresh compound, and new paint. If the crack opens again or opens wider, further evaluation by a structural engineer will be needed. Monitoring the crack is required. The ceilings textured finishes increase the difficulty in matching the existing finish, complicate, and increase the cost of repairs.



11.0 Item 1 (Picture)



11.0 Item 2 (Picture)



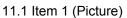
11.0 Item 3 (Picture)

11.1 Garage Walls (including Firewall Separation)

Comments: Needs Follow up

The garage was cluttered with stored items. The inspector was unable to inspect all floor areas, walls, and ceilings. The buyer must re-inspect this room for any concealed conditions after the seller possessions have been removed. This most be done prior to closing.





11.1 Item 1 (Pi 11.2 Garage Floor

Comments: Needs Follow up



11.1 Item 2 (Picture)

Inspection Report

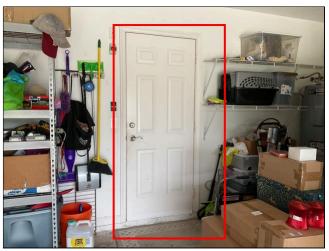
The garage was cluttered with stored items. The inspector was unable to inspect all floor areas, walls, ceiling and/or windows. The buyer must re-inspect this room for any concealed conditions after the seller possessions have been removed. This most be done prior to closing.

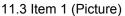


11.2 Item 1 (Picture)

11.3 Occupant Door (from garage to inside of home) Comments: Repair or Replace

The door between an attached garage and a dwelling unit must be a solid wood door, a honeycomb-core steel door, or a 20-minute fire-rated door. This door does not appears to be fire-rated. For your own safety, further evaluation and/or replacement of the door is required. Replacement / installation cost estimate must be obtained prior to closing.





11.4 Garage Door (s) Comments: Repair or Replace

(1) The garage door panels are separating and need adjustment. The door must be adjusted by a qualified technician to ensure a proper seal. Repair cost estimate is required prior to closing.



11.4 Item 1 (Picture)

(2) The garage door is damaged at the bottom left corner. It appears to have been hit. Follow up with the seller for explanation. The door is functional and operates properly at the time of the inspection.





11.4 Item 2 (Picture)

11.4 Item 3 (Picture)

(3) When raised manually, the garage door springs do not prevent the door from falling down without warning and won't stay open. It needs to be adjusted for proper operation. This is a safety hazard. DO NOT use the garage door manually until this issue is fixed. Repair cost estimate by a garage door technician is required prior to closing.

(4) The original garage door is only wind rated. When it needs to be replaced, the inspector recommend upgrading to an impact rated door. The additional cost is negligible and this will qualify you for an additional discount of of your homeowners insurance policy.





11.4 Item 4 (Picture)

11.4 Item 5 (Picture)

11.5 Garage Door Operators Comments: Functional

The garage was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Usually, garages are cluttered with stored items. Therefore, the inspector is UNABLE to inspect all floor areas, walls, ceilings, and/ or windows. The buyer must re-inspect the garage for any concealed conditions after the seller possessions have been removed and prior to closing. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12. Irrigation / Sprinkler System

Sprinkler systems are checked in manual mode and for your convenience ONLY. Normally, **sprinkler systems and irrigation systems are not within the scope of a regular home inspection.** Please keep that in mind.

We will be inspecting for sign of broken sprinkler heads, water pooling, water hitting the house, operation control, and for the presence of rain sensor system. System adjustments by a irrigation company may be needed to help you setting it up to your own need. If regular controls are inoperable at the time of the inspection, the system will NOT BE INSPECTED. Coverage, timing rate, and pressure are not inspected. We do not provide any guarantee or warranty for sprinkler heads or systems due to potential damage caused by lawn service providers. For further evaluation of the system, please hire an irrigation company prior to closing.

Styles & Materials

Controller Manufacturer:	Zones:	Rain Sensor:
Hydrotec	4	Yes
Items		

12.0 Operation

Comments: Repair or Replace

(1) Sprinkler systems are checked in manual mode and for your convenience ONLY. Normally, sprinkler systems and irrigation systems are not within the scope of a regular home inspection. Please keep that in mind.

We will be inspecting for sign of broken sprinkler heads, water pooling, water hitting the house, operation control, and for the presence of rain sensor system. System adjustments by an irrigation company may be needed to help you setting it up to your own need. If regular controls are inoperable at the time of the inspection, the system will NOT BE INSPECTED. Coverage, timing rate, and pressure are not inspected. We do not provide any guarantee or warranty. For further evaluation of the system, please hire an irrigation company prior to closing.

(2) The well pump is not securely fasten to the concrete slab. Pumps are required to be fastened down to avoid vibration that could damage the PVC water pipes. Repair cost estimate by a handyman is required prior to closing.

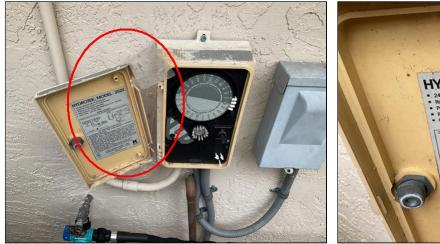


12.0 Item 1 (Picture)

12.1 Controllers

Comments: Repair or Replace

(1) The control box cover for the sprinkler system was damaged at the time of the inspection. Replacement cost estimate is required prior to closing.





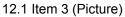
12.1 Item 1 (Picture)

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12.1 Item 2 (Picture)

(2) Lime scale buildup to the exterior finishes and moisture damage to the exterior siding suggest that the sprinklers are hitting the house wall. The water will eventually find its way into the structure and cause damages. This requires adjustment of all sprinkler heads by an handyman.







12.1 Item 4 (Picture)

12.2 Rain Sensor

Comments: Functional

The rain sensor has not been tested by the inspector. Please follow up with the seller prior to closing and make sure it is functional.

The sprinkler system was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

17. Home Tour

Items

17.0 Home Photos



17.0 Item 1 (Picture)



17.0 Item 3 (Picture)



17.0 Item 2 (Picture)



17.0 Item 4 (Picture)



17.0 Item 5 (Picture)



17.0 Item 6 (Picture)



17.0 Item 7 (Picture)

Repair and Replace Summary



Florida Wisdom Home Inspections LLC

561-509-4190

Customer Sample Inspection Report

Address Sample Inspection Report Wellington FL 33414

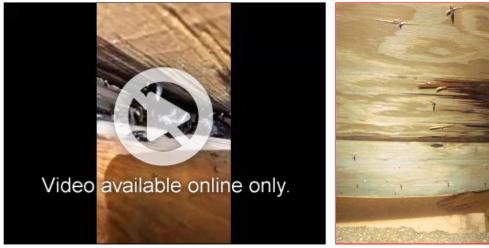
1. Structural Components



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Repair or Replace

(1) The roof sheathing is deteriorated and soft at multiple areas. The leaks are currently active. Due to the roof age, it is not cost effective to perform repairs. The roof must be replaced. Until then, a plastic sheeting cover must be installed by a roofing company to avoid any further leak damages. Replacement cost estimate by a licensed roofing contractor is required prior to closing.



1.6 Item 1 (Video)



1.6 Item 2 (Picture)





1.6 Item 3 (Picture)



1.6 Item 4 (Picture)



1.6 Item 5 (Picture)



1.6 Item 6 (Picture)





1.6 Item 7 (Picture)

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1.6 Item 8 (Picture)

(2) 4 or more missed nails were found. The roof deck must be re-nail per Florida Building Code guideline. Larger number of missed nails reduces the strength of the roof deck significantly and will be prone to uplift during strong wind. This must be corrected when the roof is replaced.



1.6 Item 9 (Picture)

2. Exterior Components



2.0 Wall Siding and Trim

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Repair or Replace

Stucco finishes have small cracks due to small building movement/settlement. Hairline cracks are not generally considered to be major structural defects, but they may allow water to penetrate. Majority of the cracks were found on the left side of the house. They need to be cleaned and sealed with elastomeric crack filler. Repair cost estimate by a professional contractor is required prior to closing.



2.0 Item 1 (Picture)

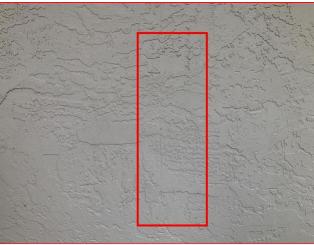


2.0 Item 2 (Picture)





2.0 Item 3 (Picture)



2.0 Item 5 (Picture)

2.2 Lighting, Switches, and Receptacle (Exterior)

Repair or Replace

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Several light fixtures at the exterior of the house are not sealed with caulk as is required. Repair cost estimate by a professional is needed before water damage occurs.



2.2 Item 1 (Picture)

2.3 Eaves, Soffits and Fascias

2.0 Item 6 (Picture)

Florida Wisdom Home Inspections LLC

Repair or Replace

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(1) Holes in the fascia board may contribute to faster deterioration of the wood. Those holes can be filled with wood filler and painted to protect the wood against the element. Repair cost estimate by a licensed building contractor is required prior to closing.



2.3 Item 1 (Picture)

(2) The soffit vent is damaged. All soffit vents must be covered and secured with a heavy duty galvanized screen to keep animals/insects out while allowing air movement. The vents should not be perforated. Repair cost estimate is required prior to closing.

The old/disconnected wire installed through the soffit vent screen must be removed or covered with a wire cap.



2.3 Item 2 (Picture)

2.3 Item 3 (Picture)

(3) A gap between the fascia and the soffit may allows rodents, insects or bees to enter the attic. All soffit gaps need to be sealed by a professional. Repair cost estimate by a licensed building contractor is required prior to closing.





2.4 Doors (Exterior)

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Suggest Upgrade

(2) The front door does not fits tightly against the seal. Even fully closed, the door has cracks between the weatherstrip and the door allowing humid air to come in. Repair cost estimate by a licensed contractor is required prior to closing.



2.4 Item 2 (Picture)

(3) Door hardware on all exterior doors needs to be replaced or re-keyed for security reasons upon occupancy.

2.7 Driveways, Side walk, Walkway, and Parking

Repair or Replace

(2) The concrete driveway has cracked up and is in need of repair. Repair cost estimate from a licensed masonry contractor is required prior to closing.

The entrance tiles are elevated and can become a tripping hazard. Watch your step!









2.7 Item 4 (Picture)

2.7 Item 6 (Picture)



2.7 Item 5 (Picture)

2.8 Porches, Patios, and Screened Enclosures

Repair or Replace

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Minor damage to the screen door was observed. The doors is rubbing the floor upon opening and the screen is torn at the bottom. It needs to be adjusted and repaired. Repair cost estimate by a screen enclosure company is required prior to closing.



2.8 Item 1 (Picture)



3. Roofing

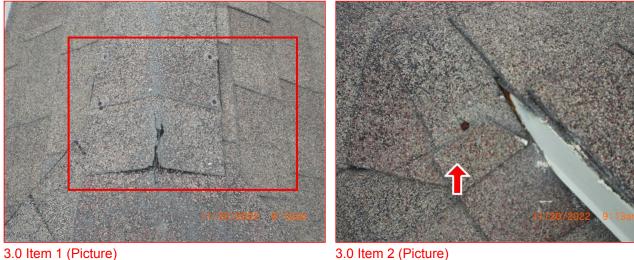
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3.0 **Roof coverings**

Repair or Replace

(1) The roof covering is beyond it's useful life as evidenced by missing/torned shingle tabs, exposed fasteners, exposed shingle mat, deteriorated shingles, excessive granule lost, and visible roof leaks. The roof needs to be replaced ASAP to prevent failures. Replacement cost estimate by a licensed roofing contractor is required prior to closing.



3.0 Item 1 (Picture)



3.0 Item 3 (Picture)



3.0 Item 4 (Picture)





3.0 Item 7 (Picture)



3.0 Item 9 (Picture)(4) Please review those pictures for roof leak locations.

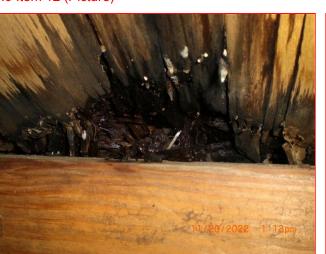


3.0 Item 8 (Picture)

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3.0 Item 12 (Picture)





3.0 Item 13 (Picture)



3.0 Item 14 (Picture)

3.0 Item 15 (Picture)

3.1 Flashings

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Repair or Replace

The kickout flashing is/are missing. They prevent rain water from being absorbed into the wall and are essential anywhere a roof and exterior wall intersect, where the wall continues past the lower roof edge and gutter, and where the gutter terminate at the side of a wall/chimney. Ask your roofing contractor to install them at missing locations.



3.1 Item 1 (Picture)

3.3 Roof drainage system

Sample Inspection Report

Florida Wisdom Home Inspections LLC

Repair or Replace

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(2) Water should not be discharged directly onto the roofing material. The best practice is to direct the water from higher gutters, so that it discharges into lower gutters through downspout pipes. Repair cost estimate by a gutter company is required prior to closing.



3.3 Item 4 (Picture)



3.3 Item 5 (Picture)

4. Attic, Insulation, and Ventilation

4.0 Attic Access

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Repair or Replace

(1) The pull down ladder joints stay open when the ladder is fully extended. This causes excessive stress at the crushing point of contact. This is a safety hazard. Repair cost estimate by a licensed general contractor is required prior to closing.





4.0 Item 1 (Picture)

4.0 Item 2 (Picture)

(2) The pull down stairs ladder has been improperly installed and represents a high level of risk for who uses the stairs. Per the manufacturer, the stair needs to be shortened so they come down in a straight line with the bottom feet beveled to sit flat on the floor. The metal corner brackets on the hinge side and the frame must be fastened with a minimum of two 16 penny nails on all sides. This requires repair by a licensed contractor for safety. Repair cost estimates must be obtained prior to closing.







4.0 Item 4 (Picture)



4.0 Item 5 (Picture)



4.1 Attic Space

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Repair or Replace

(2) Unsealed gaps in ceilings become pathways that allow airborne particles, moisture, and pests to escape from one area to another where they can create health hazards. The ceiling penetrations must be sealed for energy efficiency as well. This could be done using fire rated sealant, caulk, or expanding foam. Repair cost estimate by a handyman is required prior to closing.



4.1 Item 4 (Picture)

Florida Wisdom Home Inspections LLC

4.2 Insulation

Repair or Replace

- (1) The attic insulation is insufficient. In Florida, recommended R-value insulation is R-38. This requirement has been changed in 2022 to R-49. Less will result in higher electricity bills. Installation cost estimate by an insulation company is required prior to closing.
- (2) The attic hatch inside the main bedroom closet is missing insulation and weather stripping. Attic hatch inside the house must have insulation and have a weather stripping in the frame to seal the opening. Attic stairs inside the house require an insulated box to cover the attic opening. The buyer should obtain cost estimates from a licensed handyman prior to closing.
- (3) The batt insulation has fallen down at the attic side walls. The insulation needs to be re-installed and properly secured by a licensed insulation contractor to provide the required thermal barrier and energy efficiency. Repair cost estimate is required prior to closing.





4.2 Item 1 (Picture)

4.2 Item 2 (Picture)

4.3 Ventilation

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Repair or Replace

The soffit vents have been blocked by improperly installed insulation at the eaves at multiple areas in the attic space. A minimum clearance of 1 inch between the roof sheathing and the top of the insulation is needed. This clearance is required to allow airflow into the attic to cool it down. Without proper ventilation, the attic will become extremely hot and humid which can cause the sheathing to buckle. Repair cost estimate by a licensed insulation company is required prior to closing.



4.3 Item 1 (Picture)

6. Electrical System

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6.1 Distribution panel (sub panel)

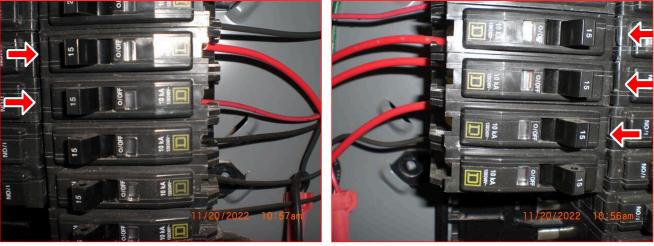
Repair or Replace

(1) Double tap at the grounding bar is allow only if the manufacturer instruction says so. The number of conductors in a terminal is limited to that for which the terminal is designed and listed. In this case, two ground wires under one lug intended for a single wire is not allowed. It is a code violation that must be addressed by a licensed electrical contractor. Repair cost estimate must be obtained prior to closing.



6.1 Item 1 (Picture)

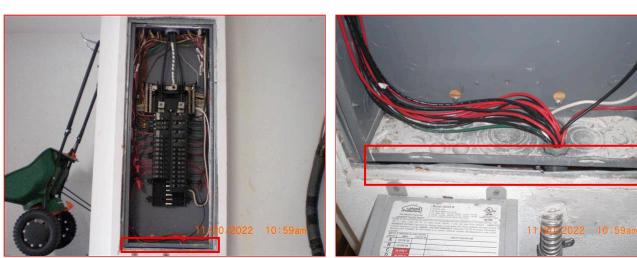
(2) Breaker rated for 15 Amps are usually for lights and receptacles. They must be connected with a #14 copper wire. At the time of the inspection, the wire size was incorrect. Further evaluation by a licensed electrician is required prior to closing.



6.1 Item 2 (Picture)

6.1 Item 3 (Picture)

(3) An open gap into the wood frame wall exists between the metal panel box and the wall finish. This is required to be filled/sealed to avoid fire spread inside the walls. Fire rated expanding foam is the easiest way to seal this gap. Repair cost estimate by a licensed handyman is required prior to closing.



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6.1 Item 4 (Picture)
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6.1 Item 5 (Picture)

6.3 Wiring

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Repair or Replace

(1) Old, abandoned electrical wires located on the roof was terminated improperly and need to be removed. Once removed, the hole in the stucco must be filled with sealant to avoid insect entry. Repair cost estimate by a licensed electrician or handyman is needed prior to closing.



6.3 Item 1 (Picture)

(2) Exposed wiring was found at the air handler. Wires not concealed inside walls are required to be enclosed in a listed conduit for safety. Repair cost estimate by a licensed electrician is required prior to closing.



6.3 Item 2 (Picture)

6.6 Operation of GFCI and AFCI

Repair or Replace

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(1) The GFCI receptacles at the house exterior are faulty. The receptacles might be malfunctioning or they might not be connected properly. The GFCI did not tripped when tested. Further evaluation is required by a licensed electrician prior to closing.



6.6 Item 1 (Picture)

6.6 Item 2 (Picture)

(2) The exterior GFCI outlet box is loose and not water tight. Caulk must be used to seal the box. Repair cost estimate by a licensed electrician is required prior to closing.



6.6 Item 3 (Video)

6.7 Smoke Detectors / Carbon Detector

Repair or Replace

- (1) Operate/test smoke detectors, carbon-monoxide detectors, or alarms is outside of the home inspectors scope of practice. Make sure to test those systems prior to move in for your own safety.
- (2) Replacing missing, inoperable or older smoke detectors is needed. The NFPA requires a smoke alarm on every level and outside each sleeping area in existing construction. The NFPA requires smoke alarms to be installed inside each bedroom, outside each bedroom area, and on every level in new construction home. Per the Consumer Product Safety Commission, smoke detectors are only effective for 10 years. All detectors older than 10 years old need to be replaced. All smoke detectors must be tested upon moving into the home. For more information, please visit the NFPA website at: https://www.nfpa.org
- (3) The state standard of a regular home inspection required to describe the presence or absence of smoke alarms and carbon monoxide alarms. Therefore, the inspector do not warrant if the devices are whether working or not. It is the client responsibility to install missing devices and test all devices prior to moving in. The NFPA requires replacement of smoke alarms after 10 years and carbon monoxide alarms after 6 years. It is important to test your alarms monthly. If your carbon monoxide or smoke alarm has replaceable batteries, they should be changed every 6 months.
- (4) Only one carbon monoxide detector was found in the hallway. One must be installed next to the fireplace for safety. This must be done prior to moving-in.





6.7 Item 1 (Picture)

6.7 Item 2 (Picture)







6.7 Item 5 (Picture)



6.7 Item 4 (Picture)



6.7 Item 6 (Picture)

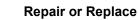
6.7 Item 8 (Picture)



6.7 Item 7 (Picture)

6.8 Attic electrical

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Open and/or improper electrical splices were observed throughout the attic space above the garage and above the bedrooms. Electrical connections are required to be installed inside a junction box for safety. A licensed electrician must walk the entire attic space and make repairs to all incorrect splice connections. Repair cost estimate by a licensed electrician is required prior to closing.

Sample Inspection Report



6.8 Item 1 (Picture)



6.8 Item 2 (Picture)

7. Heating / Air Conditioning



7.1 Condensate drain and pan

Repair or Replace

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(2) Water stains were observed around the air handler unit. The possible cause is a clogged condensate drain line. The drain line must be flushed on a regular schedule to prevent overflow. Flushing drain line can be done every season by a professional AC technician.

The line appears to be functional at the time of the inspection and the water stains were dry. Those stains appears to be older. However, leaks are more likely to happen with this installation. Usually, condensate lines are installed and sloped toward the discharge point. In this case, the line is installed level. When the air conditioning handler is replaced, the condensate line must be replaced and installed properly.





7.1 Item 2 (Picture)

7.1 Item 3 (Picture)



7.1 Item 4 (Picture)

7.3 Air handler / Evaporator coils

Repair or Replace

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(1) Visible discoloration, suspected microbial growth, and water marks were found where the ductwork and the AC handler interconnect. This suggest air leaks in between the two. Cold air in contact with hot air creates condensation water which then cause water damages. The duct tape must be removed and the AC handler must be re-sealed properly to avoid further damages. Further evaluation and repair cost estimate by a licensed HVAC contractor is required prior to closing.



7.3 Item 1 (Picture)

7.3 Item 2 (Picture)

7.10 Chimneys (Flues and Vents) -fireplaces, gas water heater or heating system

Repair or Replace

(1) The attic insulation shield is used through the ceiling to prevent insulation and other debris from contacting the chimney in the attic. The attic insulation shield is placed above the ceiling support box on top of the framing of the ceiling where the chimney passes through the attic. None was installed. Cellulose insulation is made of recycle paper material. This is a fire safety hazard. Further evaluation and repair cost estimate by a professional chimney installer is required prior to closing.



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7.10 Item 1 (Picture)

7.10 Item 2 (Picture)

(2) The firestop is not installed at the top where the chimney passes through the roof. The firestop should allow a fire-resistance rating greater than the roof assemblies through which the vent passes. Further evaluation and repair cost estimate by a professional chimney installer is required prior to closing.

Fireplace installations require a permit. Follow up with the building department and make sure a permit was pulled for the installation of the fireplace.



7.10 Item 3 (Picture)

8. Interior Components

8.0 Ceilings

Repair or Replace

The ceiling reveals hairline cracks in multiple areas. The tape at the seams might be missing and/or those lines can be from high home humidity levels. Contraction and expansion of the ceiling is common and causes ceiling cracks. The ceiling can be re-finished by a licensed contractor. This involve texture removal, application of fresh compound, and new paint. If the cracks open again or open wider, further evaluation by a structural engineer will be needed. Monitoring the crack is required. The ceilings textured finishes increase the difficulty in matching the existing finish, complicate, and increase the cost of repairs.

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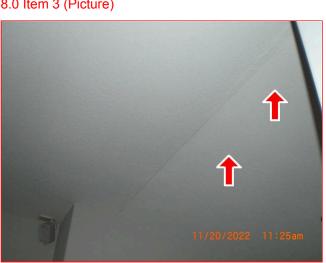








8.0 Item 3 (Picture)



8.0 Item 5 (Picture)



8.0 Item 4 (Picture)



8.0 Item 6 (Picture)



8.0 Item 7 (Picture)

8.0 Item 8 (Picture)

8.2 Walls

Needs Follow up

(2) A notice of WDO inspection and/or notice of treatment was found. Please follow up with the seller for explanation. Request, in writing, a seller disclosure that explain in detail past or present termites and other wood destroying organisms infestation.

Florida Wisdom Home Inspections LLC did not perform a WDO inspection and did not inspect for any indication and/ or presence of wood-destroying organisms within the structure. This includes; termites, carpenter bees, wood boring beetles, anobiid beetles, bostrichid beetles, powderpost beetles, carpenter ants, and wood decaying fungi. A REGULAR HOME INSPECTION HAS BE PERFORMED ONLY. The client can contact the inspector to schedule a wood destroying organisms (WDO) inspection for a fee, if necessary. Contact us at 561-509-4190 for more information.

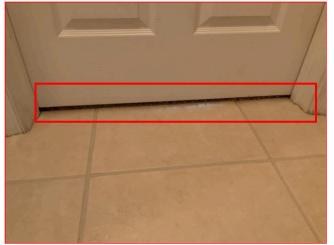


8.2 Item 1 (Picture)

8.4 Doors

Suggest Upgrade

(1) The resistance felt when opening the doors is created by pressure within the home. To avoid this, a clearance of 3/4 inch between the door and the carpet is needed. Repair cost estimate from a licensed handyman is required prior to closing.



8.4 Item 1 (Picture)

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(2) The doors are rubbing the carpet and needs to be trimmed for proper use. Repair cost estimate from a licensed handyman is required prior to closing.



8.4 Item 2 (Video)

9. Bathrooms



Repair or Replace

The cabinet bottom in the guest bathroom has water stains. This indicate a current or previous leak. At the time of the inspection, no visible leak was found. The buyer must question the seller about previous leaks and repairs in that area. If not repair was made, the leak must be consider as active and must be further evaluated by a licensed plumber. Further evaluation is required.





9.2 Bathtubs

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Repair or Replace

(1) An open gap was noted at the shower/bathtub faucet. This gap needs to be re-sealed with caulk to prevent water from getting into the wall and causing damage. Repair cost estimate by a licensed contractor is required prior to closing.



9.2 Item 1 (Picture)

(2) The tub does not have an access panel. A 12x12-inch minimum sized opening must be installed to provide access for plumbing repairs and maintenance. It is strongly recommended to install one when the bathroom is being remodeled.

Inspection Report



9.2 Item 2 (Picture)

10. Kitchen / Appliances

10.3 Dishwasher

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Repair or Replace

The dishwasher is not securely attached to the countertop to prevent tipping. To avoid incidents, repair by a qualify technician is required prior to closing.

10.4 Food waste disposer

Repair or Replace

The garbage disposal was excessively noisy, indicating that it may have worn components. The unit may needs to be replaced. Replacement cost estimate is required prior to closing.





10.9 Kitchen Receptacle

Repair or Replace

(1) The dishwasher and the disposal are plugged into the same outlet. However, the electrical panel shows that they are under different circuits. Some appliances will simply use too much power to be safely used on the same circuit as other, and for this reason further evaluation by a licensed electrical contractor is required prior to closing.





10.9 Item 1 (Picture)

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10.9 Item 2 (Picture)

(2) The receptacle testing indicate open ground at the dinning area in the kitchen. Repair cost estimate by a licensed electrical contractor is required prior to closing.



10.9 Item 3 (Picture)

10.10 Laundry Equipment

Repair or Replace

An improper dryer fitting with a screen was installed. Since 2002, the building code requires a special fitting with a back draft damper. Screen can become clogged which may lead to a house fire. Repair cost estimate by a handyman is required prior to closing.



10.10 Item 1 (Picture)

11. Garage / Carport



11.0 Garage Ceilings

Repair or Replace

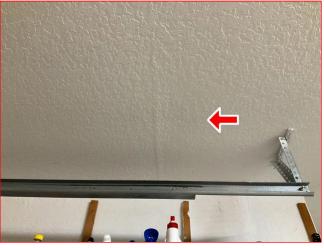
The ceiling reveals hairline cracks in multiple areas in the garage. The cracks can be from high humidity levels. Contraction and expansion of the ceiling is common and causes ceiling cracks. The ceiling can be re-finished by a licensed contractor. This involve texture removal, application of fresh compound, and new paint. If the crack opens again or opens wider, further evaluation by a structural engineer will be needed. Monitoring the crack is required. The ceilings textured finishes increase the difficulty in matching the existing finish, complicate, and increase the cost of repairs.



11.0 Item 1 (Picture)



11.0 Item 2 (Picture)



11.0 Item 3 (Picture)

11.3 Occupant Door (from garage to inside of home)

Repair or Replace

The door between an attached garage and a dwelling unit must be a solid wood door, a honeycomb-core steel door, or a 20-minute fire-rated door. This door does not appears to be fire-rated. For your own safety, further evaluation and/or replacement of the door is required. Replacement / installation cost estimate must be obtained prior to closing.



11.3 Item 1 (Picture)

11.4 Garage Door (s)

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Repair or Replace

(1) The garage door panels are separating and need adjustment. The door must be adjusted by a qualified technician to ensure a proper seal. Repair cost estimate is required prior to closing.



11.4 Item 1 (Picture)

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(2) The garage door is damaged at the bottom left corner. It appears to have been hit. Follow up with the seller for explanation. The door is functional and operates properly at the time of the inspection.



11.4 Item 2 (Picture)

11.4 Item 3 (Picture)

(3) When raised manually, the garage door springs do not prevent the door from falling down without warning and won't stay open. It needs to be adjusted for proper operation. This is a safety hazard. DO NOT use the garage door manually until this issue is fixed. Repair cost estimate by a garage door technician is required prior to closing.

12. Irrigation / Sprinkler System

12.0 Operation

Repair or Replace

(2) The well pump is not securely fasten to the concrete slab. Pumps are required to be fastened down to avoid vibration that could damage the PVC water pipes. Repair cost estimate by a handyman is required prior to closing.



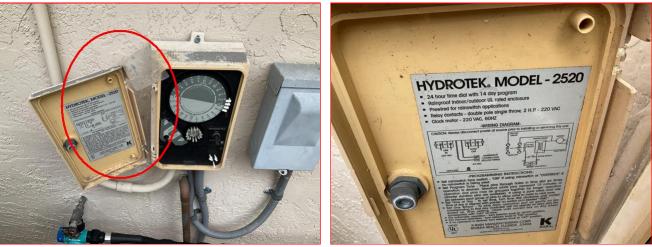
12.0 Item 1 (Picture)

12.1 Controllers

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Repair or Replace

(1) The control box cover for the sprinkler system was damaged at the time of the inspection. Replacement cost estimate is required prior to closing.



12.1 Item 1 (Picture)

12.1 Item 2 (Picture)

(2) Lime scale buildup to the exterior finishes and moisture damage to the exterior siding suggest that the sprinklers are hitting the house wall. The water will eventually find its way into the structure and cause damages. This requires adjustment of all sprinkler heads by an handyman.



12.1 Item 3 (Picture)



12.1 Item 4 (Picture)

Prepared Using HomeGauge <u>http://www.HomeGauge.com</u> : Licensed To Jessica Dumais

Follow Up Summary



Florida Wisdom Home Inspections LLC

561-509-4190

Customer Sample Inspection Report

Address Sample Inspection Report Wellington FL 33414

1. Structural Components

1.0 Foundations / Crawlspace

Functional

Poured concrete foundation are often found to have cracks. Typically, these cracks are shrinkage cracks and do not indicate major structural problems. The only problem with shrinkage cracks in a poured concrete foundation wall, other than cosmetic appearance, is water penetration. Elastomeric crack filler should be used to correct this issue.

1.2 Floors Structure

Functional

The concrete floor is hidden from view by floor covering. Every concrete slab has small shrinkage and stress cracks from construction. These small cracks are typical for poured in place concrete and are not structural problems. If the cracks widen over time, consult with a professional.

1.3 Walls Structure

Functional

The structural wall framing members are hidden inside the wall behind interior and exterior finishes and are NOT inspected. Further destructive evaluation is recommended if concerned.

1.4 Ceilings Structure

Functional

The structural ceiling framing members are hidden by attic insulation and therefore are NOT inspected. Further evaluation is recommended if concerned.



Sample Inspection Report

2. Exterior Components

2.4 Doors (Exterior)

Suggest Upgrade

(1) Hurricane rated panels mounted on the face of the door and covering only the glazing DO NOT qualify the door to receive an 'impact rating" for insurance purposes. The protection system must cover the entire door, not just the glazed. To receive your full "opening protection" discount on your insurance policy, accordion shutter must be installed to protect the entire front door. Installation cost estimate is required prior to closing.



2.4 Item 1 (Picture)

2.7 Driveways, Side walk, Walkway, and Parking

Repair or Replace

(1) The pathway on the left side of the house is unfinished. Follow up with the seller prior to closing.



2.7 Item 1 (Picture)

2.7 Item 2 (Picture)

3. Roofing



3.3 Roof drainage system

Repair or Replace

(1) The gutters located above the kitchen dinning area are full of debris and do not provide proper rain water drainage. All gutters need to be kept clean and clear of debris. Monthly maintenance is needed to avoid leak and overflow that could damage fascia boards and roof eaves. Cleaning is needed. Once cleaned, if the water accumulate inside the gutter, once again, it means that the gutter is holding water due to incorrect installation. This could results in mold growth and pests/insects problems. All gutters should slope 1/4 inch per 10 feet of gutter towards the downspouts. Further evaluation is needed after clean up.





3.3 Item 2 (Picture)



3.3 Item 3 (Picture)

3.3 Item 1 (Picture)

3.4 Chimneys

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Functional

(1) Standards of practice for performing a general home inspection does not include a phase 1 fireplace and chimney inspection. The goal of the inspection is to provide observations which may lead to the decrease of hazardous conditions associated with fireplaces and chimneys. The inspection is limited to readily accessible and visible portions of the fireplace and chimney. The inspection should not be considered all-inclusive or technically exhaustive. All chimneys should be inspected by a certified chimney sweep prior to their first use, and inspected/ cleaned annually after that. A level 2 inspection is required prior to closing.





3.4 Item 1 (Picture)



3.4 Item 3 (Picture)

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- (2) No fire was started to determine if the fireplace drafts correctly. The interior flue and vent systems are NOT within the scope of a home inspection either. Further investigation by a licensed sweep company is required prior to closing.
- (3) For fireplaces, chimneys, and/or fuel burning appliance inspections, the client must hires a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore DO NOT provide a complete chimney inspection. The client must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.

The National Fire Protection Association (NFPA) identifies three levels of inspections for chimneys, fireplaces, vents and solid fuel-burning appliances.

-A Level 1 inspection exceeds home inspection standards. This inspection requires removal of the damper plate for viewing of the interior surface of a fireplace smoke chamber. The inspection is conducted when the chimney is swept or during an annual inspection.

-A Level 2 inspection is usually required during real estate transactions. Level 2 requires inspection of the chimney and of the interior surfaces of the flue. This is typically done with closed-circuit video equipment.

-A Level 3 inspection is rarely performed and entails all portions of the Level 1 and Level 2 inspections as well as gaining access to concealed areas of the chimney. This inspection requires some dismantling or destruction of parts of the chimney.

4. Attic, Insulation, and Ventilation

4.1 **Attic Space**

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Repair or Replace

(1) Due to insufficient clearances or unsafe conditions, the inspector was unable to crawl through the entire attic. The attic inspection is incomplete and limited. The inspector was NOT able to visually inspect all attic areas. Further evaluation is required prior to closing.

4.1 Item 2 (Picture)



4.1 Item 1 (Picture)

4.1 Item 3 (Picture)

5. Plumbing System

5.1 Plumbing drain, waste and vent system

Functional

- (1) The drains on the property cannot be seen or verified underground. The inspector was unable to determine Æ conclusively if the drainage system is 100% functional. Drainage problems may not show up in the limited time span of the inspection. The buyer must question the seller in writing about drain problems and must seriously consider having the house sewer inspected with a camera prior to closing.
- 5.6 **TPR Valve**

Needs Follow up

Æ Due to the age of the TPR valve and the water heater location (inside the garage), it was not tested. Older valves that have never been exercised (opened once a year per the manufacturers specifications) have tendency to stick









Florida Wisdom Home Inspections LLC

open. If concerned, the buyer should have it tested by a plumber, once the seller personal belonging have been removed, and prior to closing. Further evaluation is required.

5.11 Well System

Needs Follow up

The well appears to be for irrigation only. Follow up with the seller to confirm the well location and usage.

6. Electrical System

6.0 Service panel (main panel with service disconnect)

Functional

The service conductor sizes have been guessed upon the opinion of the inspector. The service cables were unmarked at the time of the inspection. Follow up with a licensed electrician prior to closing if concerned.





6.0 Item 1 (Picture)



6.0 Item 3 (Picture)

6.1 Distribution panel (sub panel)

Repair or Replace

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(4) This house electrical sub panel have a transfer switch for a portable generator. Generators and transfer switch systems are outside of the scope of a regular home inspection. This system must be further evaluated by a licensed electrical contractor prior to use. Ask your electrician to teach you about using the system. It will be usefully during power outage. Further evaluation is required prior to closing.



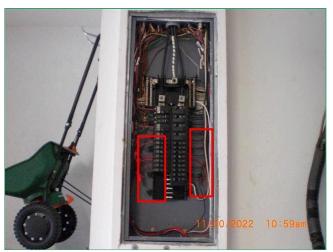
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6.1 Item 8 (Picture)

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6.1 Item 9 (Picture)

(5) The dishwasher and the disposal are plugged into the same outlet. However, the electrical panel shows that they are under different circuits. Some appliances will simply use too much power to be safely used on the same circuit as other, and for this reason further evaluation by a licensed electrical contractor is required prior to closing.



6.1 Item 10 (Picture)



6.2 Grounding Equipments

Needs Follow up

The grounding conductor goes underground, and the inspector was unable to visually verify the connection to the

Florida Wisdom Home Inspections LLC

ground rod. Most residential construction requires two separate grounding electrodes, 6 feet apart, in any combination of the following: driven rods, metal water pipes, well casings, ufergrounds, groundplates, steel framing, and/or ground rings. The installation is questionable. Further evaluation by an licensed electrical contractor is required prior to closing.



6.2 Item 1 (Picture)

6.5 Receptacle

Needs Follow up

- (1) Most receptacles were obscured from view due to stored items and furnishings. We recommend that all receptacles are inspected for proper operation when they become accessible. The inspector did NOT test all receptacles. Further evaluation is required prior to closing.
- (2) Only a representative number of outlets were tested during the inspection. However, the receptacle covers were NOT removed for electrical inspection. Any outlet not accessible (behind the refrigerator for example) was NOT inspected or accessible.

6.6 Operation of GFCI and AFCI

Repair or Replace

- (3) AFCI protection was not required when this structure was built. Upgrading involves adding special breakers to your existing interior branch circuits which protect your home from electrical fires. The outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms areas should be AFCI protected. Consult with a licensed electrician if interested.
- (4) Electrical safety standards require GFCI protection at all exterior, garage, bathrooms, kitchen countertops, laundry/utility room, hydro-massage tubs, hot tubs, spa, pool, wet bar, crawlspace, and basement. It is recommended that you add GFCI protection at these locations for your own safety. All electrical work must be done by a licensed electrician.

No electrical outlets were found in the garage. They might be obstructed from view by stored articles. Once the owner belongings are removed, those outlets must be tested for proper functioning. These outlets must be GFCI protected. Further evaluation is required at the final walk through.

6.7 Smoke Detectors / Carbon Detector

Repair or Replace

- (2) Replacing missing, inoperable or older smoke detectors is needed. The NFPA requires a smoke alarm on every level and outside each sleeping area in existing construction. The NFPA requires smoke alarms to be installed inside each bedroom, outside each bedroom area, and on every level in new construction home. Per the Consumer Product Safety Commission, smoke detectors are only effective for 10 years. All detectors older than 10 years old need to be replaced. All smoke detectors must be tested upon moving into the home. For more information, please visit the NFPA website at: https://www.nfpa.org
- (3) The state standard of a regular home inspection required to describe the presence or absence of smoke alarms and carbon monoxide alarms. Therefore, the inspector do not warrant if the devices are whether working or not. It is the client responsibility to install missing devices and test all devices prior to moving in. The NFPA requires replacement of smoke alarms after 10 years and carbon monoxide alarms after 6 years. It is important to test your

Sample Inspection Report

Florida Wisdom Home Inspections LLC

Inspection Report

alarms monthly. If your carbon monoxide or smoke alarm has replaceable batteries, they should be changed every 6 months.

7. Heating / Air Conditioning

7.9 Fireplaces / Solid Fuel Heating Devices

Needs Follow up

- (1) For a fireplaces, chimneys, and/or fuel burning appliances inspections, the client must hire a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore do not provide a complete chimney/fireplace inspection. The buyer must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.
- (2) Standards of practice for performing a general home inspection does not include a phase 1 fireplace and chimney inspection. The goal of the inspection is to provide observations which may lead to the decrease of hazardous conditions associated with fireplaces and chimneys. The inspection is limited to readily accessible and visible portions of the fireplace and chimney. The inspection should not be considered all-inclusive or technically exhaustive. All chimneys should be inspected by a certified chimney sweep prior to their first use, and inspected/ cleaned annually after that. A level 2 inspection is required prior to closing.
- (3) For fireplaces, chimneys, and/or fuel burning appliance inspections, the client must hires a certified chimney sweep specialist. Home inspectors are not certified with NFPA or CSIA, and therefore DO NOT provide a complete chimney inspection. The client must have a certified chimney specialist conduct a level 2 chimney sweep inspection prior to closing.

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-A Level 1 inspection exceeds home inspection standards. This inspection requires removal of the damper plate for viewing of the interior surface of a fireplace smoke chamber. The inspection is conducted when the chimney is swept or during an annual inspection.

-A Level 2 inspection is usually required during real estate transactions. Level 2 requires inspection of the chimney and of the interior surfaces of the flue. This is typically done with closed-circuit video equipment.

-A Level 3 inspection is rarely performed and entails all portions of the Level 1 and Level 2 inspections as well as gaining access to concealed areas of the chimney. This inspection requires some dismantling or destruction of parts of the chimney.

8. Interior Components



8.0 Ceilings

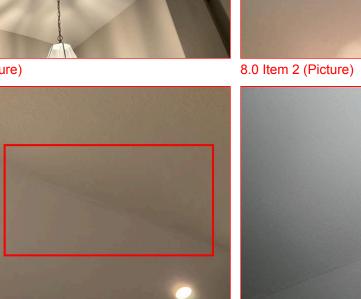
Repair or Replace

The ceiling reveals hairline cracks in multiple areas. The tape at the seams might be missing and/or those lines can be from high home humidity levels. Contraction and expansion of the ceiling is common and causes ceiling cracks. The ceiling can be re-finished by a licensed contractor. This involve texture removal, application of fresh compound, and new paint. If the cracks open again or open wider, further evaluation by a structural engineer will be needed. Monitoring the crack is required. The ceilings textured finishes increase the difficulty in matching the existing finish, complicate, and increase the cost of repairs.









8.0 Item 3 (Picture)



8.0 Item 5 (Picture)





8.0 Item 4 (Picture)



8.0 Item 6 (Picture)





8.0 Item 7 (Picture)

8.0 Item 8 (Picture)

8.1 Floors

Needs Follow up

(1) The house was fully furnished and occupied at the time of inspection. Several areas were not visible due to stored articles, owner furnishings, restricted areas, and general household items. Additional damages that was concealed at the time of the inspection may be found when these items are removed. These areas should be inspected when they are free of obstructions to determine if any other damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection.

8.2 Walls

Needs Follow up

- (1) The house was fully furnished and occupied at the time of inspection. Several areas were not visible due to stored articles, owner furnishings, restricted areas, and general household items. Additional damages that was concealed at the time of the inspection may be found when these items are moved. These areas should be inspected when they are free of obstructions to determine if any other damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection.
- (2) A notice of WDO inspection and/or notice of treatment was found. Please follow up with the seller for explanation. Request, in writing, a seller disclosure that explain in detail past or present termites and other wood destroying organisms infestation.

Florida Wisdom Home Inspections LLC did not perform a WDO inspection and did not inspect for any indication and/ or presence of wood-destroying organisms within the structure. This includes; termites, carpenter bees, wood boring beetles, anobiid beetles, bostrichid beetles, powderpost beetles, carpenter ants, and wood decaying fungi. A REGULAR HOME INSPECTION HAS BE PERFORMED ONLY. The client can contact the inspector to schedule a wood destroying organisms (WDO) inspection for a fee, if necessary. Contact us at 561-509-4190 for more information.



8.2 Item 1 (Picture)

8.5 Closets

Functional

The house was fully furnished and occupied at the time of inspection. Several areas were not visible due to stored articles, owner furnishings, restricted areas, and general household items. Additional damages that was concealed at the time of the inspection may be found when these items are removed. These areas should be inspected when they are free of obstructions to determine if any other damages are present. Any areas concealed at the time of inspection are specifically excluded from the inspection.

8.8 Fireplace

Functional

Standards of practice for performing a general home inspection does not include a phase 1 fireplace and chimney inspection. The goal of the inspection is to provide observations which may lead to the decrease of hazardous conditions associated with fireplaces and chimneys. The inspection is limited to readily accessible and visible portions of the fireplace and chimney. The inspection should not be considered all-inclusive or technically exhaustive. All chimneys should be inspected by a certified chimney sweep prior to their first use, and inspected/ cleaned annually after that. A level 2 inspection is required prior to closing.





8.8 Item 1 (Picture)

8.8 Item 2 (Picture)





8.8 Item 4 (Picture)

8.8 Item 3 (Picture)

9. Bathrooms

9.0 Sinks

Repair or Replace

The cabinet bottom in the guest bathroom has water stains. This indicate a current or previous leak. At the time of the inspection, no visible leak was found. The buyer must question the seller about previous leaks and repairs in that area. If not repair was made, the leak must be consider as active and must be further evaluated by a licensed plumber. Further evaluation is required.



9.0 Item 1 (Picture)



10. Kitchen / Appliances

10.1 Refrigerator

Functional

The water filtration system was not inspected. Change the filter upon moving in.

10.5 Ranges / Ovens / Cooktops

Functional

The self-cleaning function was not tested.

10.6 Range hood

Functional

Fans and filters are small items that play a big role in moisture and mold management. This fans merely filter and only re-circulate the air, which does not reduce moisture and odor produced from cooking. A fan that exhaust the air to the outside of the house is much better. Upgrade to a kitchen hood is recommended.

10.7 Microwave

Functional

The microwave was not tested for oven radiation leaks. Further evaluation is recommended if needed.

10.9 Kitchen Receptacle

Repair or Replace

(1) The dishwasher and the disposal are plugged into the same outlet. However, the electrical panel shows that they are under different circuits. Some appliances will simply use too much power to be safely used on the same circuit as other, and for this reason further evaluation by a licensed electrical contractor is required prior to closing.



10.9 Item 1 (Picture)



10.9 Item 2 (Picture)

11. Garage / Carport



11.0 Garage Ceilings

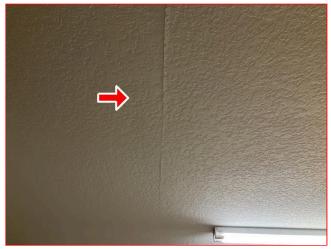
Repair or Replace

The ceiling reveals hairline cracks in multiple areas in the garage. The cracks can be from high humidity levels. Contraction and expansion of the ceiling is common and causes ceiling cracks. The ceiling can be re-finished by a licensed contractor. This involve texture removal, application of fresh compound, and new paint. If the crack opens again or opens wider, further evaluation by a structural engineer will be needed. Monitoring the crack is required. The ceilings textured finishes increase the difficulty in matching the existing finish, complicate, and increase the cost of repairs.









11.0 Item 2 (Picture)



11.0 Item 3 (Picture)

11.1 Garage Walls (including Firewall Separation)

Needs Follow up

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The garage was cluttered with stored items. The inspector was unable to inspect all floor areas, walls, and ceilings. The buyer must re-inspect this room for any concealed conditions after the seller possessions have been removed. This most be done prior to closing.



11.1 Item 1 (Picture)

11.2 Garage Floor



11.1 Item 2 (Picture)

Florida Wisdom Home Inspections LLC

Needs Follow up

The garage was cluttered with stored items. The inspector was unable to inspect all floor areas, walls, ceiling and/or windows. The buyer must re-inspect this room for any concealed conditions after the seller possessions have been removed. This most be done prior to closing.



^{11.2} Item 1 (Picture)

12. Irrigation / Sprinkler System

12.0 Operation

Repair or Replace

(1) Sprinkler systems are checked in manual mode and for your convenience ONLY. Normally, sprinkler systems and irrigation systems are not within the scope of a regular home inspection. Please keep that in mind.

We will be inspecting for sign of broken sprinkler heads, water pooling, water hitting the house, operation control, and for the presence of rain sensor system. System adjustments by an irrigation company may be needed to help you setting it up to your own need. If regular controls are inoperable at the time of the inspection, the system will NOT BE INSPECTED. Coverage, timing rate, and pressure are not inspected. We do not provide any guarantee or warranty. For further evaluation of the system, please hire an irrigation company prior to closing.

12.2 Rain Sensor

Functional

The rain sensor has not been tested by the inspector. Please follow up with the seller prior to closing and make sure it is functional.

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Maintenance Summary



Florida Wisdom Home Inspections LLC

561-509-4190

Customer Sample Inspection Report

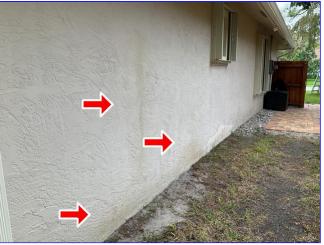
Address Sample Inspection Report Wellington FL 33414

2. Exterior Components

2.1 Exterior Finishes

Needs Maintenance

The exterior paint is deteriorating, peeling and/or flaking. The left side of the house cracks need to be sealed to prevent potential water infiltration and further deterioration. The left exterior wall needs to be pressure cleaned, sealed, and re-painted. Repair cost estimate by a stucco contractor is required prior to closing.



2.1 Item 1 (Picture)



Florida Wisdom Home Inspections LLC

2.5 Windows

Needs Maintenance

(2) Some windows lack maintenance and are hard to open. The windows mechanism need to be cleaned and lubricated.

3. Roofing



3.0 Roof coverings

Repair or Replace

(3) Leaves or pine needles on the roof surface will promote fast decay of the covering. Maintenance is recommended.



3.0 Item 11 (Picture)

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(5) The tree limbs that are in contact with the roof or hanging near the roof should be trimmed to avoid roof damages and potential roof leaks. Cutting the tree branches above the roof is recommended.



3.0 Item 16 (Picture)

3.3 Roof drainage system

Repair or Replace

(1) The gutters located above the kitchen dinning area are full of debris and do not provide proper rain water drainage. All gutters need to be kept clean and clear of debris. Monthly maintenance is needed to avoid leak and overflow that could damage fascia boards and roof eaves. Cleaning is needed.

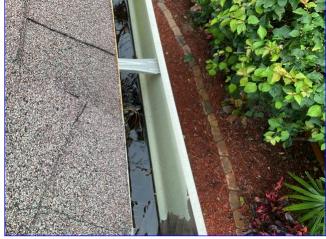
Once cleaned, if the water accumulate inside the gutter, once again, it means that the gutter is holding water due to

Sample Inspection Report

incorrect installation. This could results in mold growth and pests/insects problems. All gutters should slope 1/4 inch per 10 feet of gutter towards the downspouts. Further evaluation is needed after clean up.







3.3 Item 2 (Picture)



3.3 Item 3 (Picture)

8. Interior Components

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8.3 Windows

Needs Maintenance

The window(s) lack(s) maintenance and is/are hard to open. The window(s) mechanism need(s) to be cleaned and lubricated.

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